



**Town of Groveland**  
**Economic Development**  
**Planning & Conservation Department**  
**Zoning Board of Appeals**

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**MEETING NOTICE**

*(M.G.L Chapter 30A Sections 18-25)*

Board/Committee Name: ZONING BOARD OF APPEALS  
Date: TUESDAY, April 23, 2024  
Time of Meeting: 6:30 PM  
Location: Town Hall  
183 Main Street Groveland, MA 01834  
Signature: Annie Schindler

**AGENDA**

*For discussion and possible vote*

*Zoom participation is offered for this meeting with the information below.*

*Meeting ID: 939 9517 4414*

*Passcode: 948618*

***PUBLIC HEARING:***

**CONTINUED: Application #2024-5 6-8 ELM PARK** – A public hearing in accordance with MGL, Chapter 40A, as amended, for the application #2024-5 made by Rod Rivera, 97 Beach Street, Malden, for the premises located at 6-8 Elm Park Groveland, Map 10 Lot 013, located in the Business (B) Zoning District for a Special Permit in accordance with Section 50.4.5 (Table of Uses) of the Groveland Zoning Bylaw to operate restaurant.

**MINUTES** – Approval of the April 3, 2024, meeting minutes.

**TOWN PLANNER UPDATE**

**OTHER ITEMS NOT REASONABLE ANTICIPATED AT TIME OF POSTING**

**NEXT MEETING:** May 1, 2024

**ADJOURNMENT**

NOTE - Notices and agendas are to be posted 48 hours in advance of the meeting excluding Saturdays, Sundays and legal holidays.



**Town of Groveland**  
**Economic Development**  
**Planning & Conservation Department**  
**Zoning Board of Appeals**

**DECISION FOR SPECIAL PERMIT**  
**APPLICATION #2024-5**  
**6 – 8 ELM PARK**

**PETITIONER:** Rod Rivera  
97 Beach Street  
Malden MA 02148

**DATE:** April 23, 2024

**ADDRESS:** 6 – 8 Elm Park  
Groveland, MA  
10-013-0

**HEARING:** April 3, 2024, April 23, 2024

YOU ARE HEREBY notified of the Decision of the Board of Appeals on the application made by Rod Rivera (the “Applicant”) for property owned by Compass Realty Trust, 6 Forester Street, Wakefield MA 01880, located at 6-8 Elm Park, Groveland MA, Assessors Map 10 Lot 013, located in the Business (B) Zoning District (the “Property”).

As set forth in the application filed with the Board and testimony given at the public hearing, the Applicant sought a Special Permit pursuant to MGL 40A and the Groveland Zoning Bylaws Section 4.5, in accordance with Groveland Zoning Bylaw Section 14.6 for a Special Permit for the use of a restaurant.

The application was filed on March 7, 2024, and notice of such public hearing was given by posting in Town Hall, publication in the Eagle Tribune on March 18, 2024 and March 25, 2024, and by certified mail return receipt to all parties-in-interest as defined in MGL Chapter 40A Section 11.

The Board, as authorized by the Groveland Zoning Bylaw Section 14.4, heard Application #2024-5 at a public hearing on April 3, 2024, at the Groveland Town Hall.

The following members were present at the hearing: Chris Goodwin, Brad Ligols, Jason Naves and John Grohol.

**FINDINGS**

The Board makes the following findings in connection with this Decision, which references the criteria for the granting of a Special Permit in the Groveland Zoning Bylaw Section 14.6(A).

- (1) Social, economic, or community needs which are served by the proposal.

*The Board finds that this proposal serves these needs.*

- (2) Traffic flow and safety, including parking and loading.

*The Board finds that these items will be addressed through a Special Permit with the Planning Board that must be issued prior to occupancy.*

- (3) Adequacy of utilities and other public services.

*The Board finds that there are adequate utilities and other public services.*

- (4) Neighborhood character and social structures.

*The Board finds that the proposal is in agreement with the neighborhood characteristics and social structure of the area.*

- (5) Impacts on the natural environment.

*The Board finds that there are impacts to the natural environment with this proposal.*

- (6) Potential fiscal impact, including impact on Town services, tax base, and employment.

*The Board finds that these would all be impacted positively by the proposal.*

- (7) Consistency with the Town of Groveland Community Development Plan or the Town of Groveland Master Plan.

*The Board finds that this proposal is consistent with the Master Plan which calls for development of Elm Park.*

For the reasons stated above, the Board finds that the application meets the criteria for granting a Special Permit.

#### **CONDITIONS**

1. Use of the Property as authorized hereunder is for a “Restaurant”, as defined by the Groveland Zoning Bylaw Section 2.1, more specifically the Applicant’s proposed continuation of Your Place and Ours as family style restaurant serving pizza, subs, salads, burgers, etc.
2. The hours of operation shall be; Sunday – Thursday 11 AM – 10 PM, Friday – Saturday 11 AM – 12 AM.
3. Signs shall adhere to the Groveland Zoning Bylaw Article 11, Sign Regulations.
4. Lighting shall remain the same.
5. The dumpster shall be located at the rear of the building and fenced in.

**Commented [AS1]:** This is how it was worded before, the Board should decide how to word it for this.

6. No petroleum, chemical solvents, hazardous or toxic materials, or any other substances deemed hazardous shall be stored or used on the premises.
7. No on-site storage of pesticides, herbicides, fertilizers, fuels, and potentially toxic or hazardous materials in quantities greater than those associated with normal household use.
8. No discharge of non-sanitary waste.
9. All sanitary disposal systems shall meet Title 5, CMR 310 rules and regulations.
10. Shall meet all Groveland Board of Health regulations and apply for all appropriate food establishment permits.
11. No underground storage tanks allowed.
12. Applicant shall meet all State Rules and Regulations for disposal and storage of any and all waste.
13. This Special Permit is non-assignable and becomes void upon the sale of the business.
14. Any change of use to this Special Permit will require a subsequent hearing prior to any changes being allowed to commence and could require a new filing.
15. The Applicant shall receive any required federal, state, and local permits required to operate.
16. This Special Permit is subject to recall, given written notification to the Applicant and discussion at a public meeting, if written complaints are received from abutters.
17. In accordance with Groveland Zoning Bylaw Section 14.6(E), if the rights authorized to the Applicant by said Special Permit are not exercised within three (3) years from the date of granting of said Special Permit (filing date with the Town Clerk of the Boards decision), then such rights granted shall lapse unless a substantial use thereof has commenced, expect for good cause.

## DECISION

The Board voted to APPROVE Application #2024-5 and GRANT the Applicant a Special Permit for a restaurant use at the Property.

The motion was as follows:

XXX made a motion to XXX. XXX seconded the motion. **A vote was taken. Voting aye: XXX. Motion XXX.**

YES NO ABSTAIN ABSENT

CHAIR (C. GOODWIN)



MEMBER (J. STOKES II)

MEMBER (J. NAVES)

MEMBER (J. GROHOL)

MEMBER (B. LIGOLS)

ALT. MEMBER

This Special Permit **does not take effect** until it has been recorded in the Southern Essex District Registry of Deeds. The Book and Page number must be communicated to the Town Clerk and Town Planner for documentation.

Any appeal of this decision shall be made pursuant to MGL Section 17 of Chapter 40A.

**BOARD OF APPEALS**

\_\_\_\_\_  
Chris Goodwin, Chairman

\_\_\_\_\_  
Brad Ligols

\_\_\_\_\_  
John Stokes II

\_\_\_\_\_  
John Grohol

\_\_\_\_\_  
Jason Naves

++++  
Executed as a sealed instrument this \_\_\_\_\_ day of (date) \_\_\_\_\_

COMMONWEALTH OF MASSACHUSETTS

ESSEX, SS

(DATE) \_\_\_\_\_

The personally appeared the name \_\_\_\_\_ and  
acknowledged the foregoing instrument to be his free act and deed, before me.

\_\_\_\_\_  
Notary Public

\_\_\_\_\_  
My Commission Expires:

6-8 Elm Park, 2024-5  
Decision for Special Permit  
Page 4 of 5



6-8 Elm Park

TOWN OF GROVELAND

For Official Use  
2024 MAR -7 PM 12:02

TOWN CLERK  
RECEIVED/POSTED

Receipt Stamp

Docket Number

2024-5

Application Fee

\$400

Fee Paid



## APPLICATION FOR ZONING RELIEF

For Applicant's Use

| Type of Zoning Relief Sought by Applicant    |  |
|--|--|
| <input type="checkbox"/>                     | Variance   |
| <input checked="" type="checkbox"/>          | Special Permit                                     |
| <input type="checkbox"/>                     | Special Permit under Section 5 of the Zoning Bylaw |
| <input type="checkbox"/>                     | Comprehensive Permit (pursuant to G.L. c. 40B)     |
| Appeal of Decision (pursuant to G.L. c. 40A) |  |
| <input type="checkbox"/>                     | Building Inspector                                 |
| <input type="checkbox"/>                     | Planning Board                                     |
| <input type="checkbox"/>                     | Other  |

Please see Groveland Zoning Board of Appeals Rules and Regulations for specific requirements for plans and other materials required to be submitted in support of this application.

For Official Use

Receipt Stamp

**Docket Number**

**Application Fee**

\$

**Fee Paid**

## APPLICATION FOR ZONING RELIEF

### For Applicant's Use

| Type of Zoning Relief Sought by Applicant    |  |
|--|--|
| <input type="checkbox"/>                     | Variance   |
| <input checked="" type="checkbox"/>          | Special Permit                                     |
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| <input type="checkbox"/>                     | Comprehensive Permit (pursuant to G.L. c. 40B)     |
| Appeal of Decision (pursuant to G.L. c. 40A) |  |
| <input type="checkbox"/>                     | Building Inspector                                 |
| <input type="checkbox"/>                     | Planning Board                                     |
| <input type="checkbox"/>                     | Other  |

Please see Groveland Zoning Board of Appeals Rules and Regulations for specific requirements for plans and other materials required to be submitted in support of this application.

**PLEASE PRINT OR TYPE**

**1. SUBJECT PROPERTY INFORMATION**

|  |                                 |                   |  |
|--|---------------------------------|-------------------|--|
| <b>Address</b><br>(Number & Street Name) | 6-8 ELM PARK                    |                   |  |
| <b>Zoning District</b>                   | <b>Assessor's Map &amp; Lot</b> |                   |  |
|  | <b>Map Number</b>               | <b>Lot Number</b> |  |
|  | 10                              | 013               |  |
| <b>Current Use</b>                       |                                 |                   |  |
| Restaurants                              |                                 |                   |  |

**2. APPLICANT INFORMATION**

|  |                               |                          |    |                                     |
|--|-------------------------------|--------------------------|----|-------------------------------------|
| <b>Name of Applicant (s)</b>                   | Rod Rivera                    |                          |    |                                     |
| <b>Address</b>                                 | 97 Beach Street               |                          |    |                                     |
| <b>City, State, Zip</b>                        | Malden, MA 02148              |                          |    |                                     |
| <b>Phone Number</b>                            | 781-389-2901                  |                          |    |                                     |
| <b>Email Address</b>                           | rodshomeimprovement@yahoo.com |                          |    |                                     |
| <b>Is Applicant the Owner of the Property?</b> | YES                           | <input type="checkbox"/> | NO | <input checked="" type="checkbox"/> |

**REPRESENTATIVE:**

|   |  |
|---|--|
| <b>Name of Representative:<br/>(If Not Applicant)</b> |  |
| <b>Address</b>  |  |
| <b>City, State, Zip</b>                               |  |
| <b>Phone Number</b>                                   |  |

**LEGAL OWNER:**

|   |                      |
|---|----------------------|
| <b>Name of Legal Owner<br/>(If Not Applicant)</b> | Compass Realty Trust |
| <b>Address</b>                                    | 6 Foster Street      |
| <b>City, State, Zip</b>                           | Wakefield, MA 01880  |
| <b>Phone Number</b>                               | 781-246-3019         |

**3. LOT AND BUILDING DIMENSIONS**

| <b><u>PROPERTY</u></b>                         | <b>Primary<br/>(At Address Location)</b> | <b>Secondary<br/>(If on more than one<br/>street or way)</b> |
|--|--|--|
| <b>Required Frontage<br/>(feet)</b>            |  |  |
| <b>Existing Frontage<br/>(feet and inches)</b> |  |  |
| <b>Proposed Frontage<br/>(feet and inches)</b> |  |  |

| <u>SETBACK</u>                         | FRONT | SIDE |       | REAR |
|--|-------|------|-------|------|
|  |       | Left | Right |      |
| Required Setbacks<br>(feet)            | 30    | 10   | 10    | 30   |
| Existing Setbacks<br>(feet and inches) | 40    | 6    | 6     | 6    |
| Proposed Setbacks<br>(feet and inches) |       |      |       |      |

| <u>LOT</u> | AREA<br>(square feet) | COVERAGE<br>(square feet) | MAXIMUM<br>COVERAGE<br>(%) |
|------------|-----------------------|---------------------------|----------------------------|
| Required   | 20000                 |                           | 40                         |
| Existing   | 15000                 | 7966                      | 53.10                      |
| Proposed   |                       |                           |                            |

| DWELLING OR STRUCTURE | HEIGHT | NUMBER OF STORIES |
|-----------------------|--------|-------------------|
| Required              | 35     | 1                 |
| Existing              | 16     | 1                 |
| Proposed              | 16     | 1                 |

**4. DOES THE LEGAL OWNER OWN THE ADJACENT LAND?**

YES

☐

NO

☒

If Yes, Provide Address and Tax Map & Lot of Adjacent Property.

Address

Tax Map  
Number

Lot  
Number

**5. If Existing Property, Structure(s), and/or uses DO NOT conform to the current Zoning Bylaw, please describe what characteristic is non-conforming and when the lot, structure, or use began. (Attach extra sheet if necessary)**

|  |  |
|--|--|
|  |  |
|--|--|

**6. Describe what is being proposed, planned or appealed. (Attached extra sheet if necessary)**

|  |  |
|--|--|
|  | we are asking zoning relief to allowed a restaurant and sport bar. |
|--|--|

**7. Structures on Property**

|  |   | Existing | Proposed |
|--|---|----------|----------|
|  | Number of Buildings<br>(Primary Residence, Accessory,<br>including sheds) | 1        | 1        |
|  | Number of Dwelling Units<br>(including Primary Residence)                 |          |          |



## 8. Application Submission Checklist

- x One Original and Eight (8) Copies of Signed Application Form
- x Filing Fee
- x Eight (8) Copies of Site Plans prepared in accordance with the Groveland Zoning Board of Appeals Rules and Regulations, including
  - ❖ The dimensions and location of the subject property;
  - ❖ The location, dimensions, setbacks, and height of existing and proposed structures on the subject property;
  - ❖ Elevations of proposed structures.
- x Assessor's Property Card for Subject Property
- x Abutters List obtained from Groveland Assessor

The information provided in this application is true and correct to the best of the Applicant's knowledge.



Applicant's Signature

3/3/2024

Date

x 

**Rod's Home Improvement and Design  
97 Beach Street  
Malden, MA 02148**

Construction supervisor and designer, Rod Rivera  
Lic # 082273  
Tax ID # 26-0309650

2/24/2024

**Zoning relief narrative**

REGARDING: 6-8 ELM PARK

**Operational Information and type of business,**

Dear Zoning Board/Planning Committee,

I am writing to formally request zoning relief for a proposed restaurant at 6-8 Elm Park, Our intention is to create a vibrant dining establishment that will enhance the culinary landscape of the community while contributing positively to the local economy.

Our proposed restaurant seeks to provide an inviting atmosphere where patrons can enjoy delicious cuisine and exceptional service. We have carefully considered the needs and preferences of the community in developing our concept, aiming to offer a unique dining experience that appeals to a wide range of tastes and preferences.

However, as we move forward with our plans, we have encountered zoning regulations that may present challenges to the realization of our vision. Ch 50: Zoning Bylaw Ch 50 Art II: Definitions/50-2.1: Terms defined. Specifically restaurant A building, or portion thereof, containing tables and/or booths for at least 2/3 of its legal capacity, which is designed, intended and used for the indoor sales and consumption of food prepared on the premises, except that food may be consumed outdoors in landscaped terraces, designed for dining purposes, which are adjunct to the main indoor restaurant facility. The term "restaurant" shall not include "fast-food restaurant."

We believe that granting zoning relief for our proposed restaurant is warranted for several reasons:

1. **Community Enhancement:** Our restaurant will contribute to the vitality and diversity of the neighborhood, attracting locals and visitors alike to dine and socialize.
2. **Economic Development:** The establishment of our restaurant will generate jobs and stimulate economic activity, benefiting local residents and businesses.
3. **Quality of Life:** By providing a welcoming space for dining and socializing, we aim to enhance the overall quality of life for residents, creating a gathering place where people can come together to enjoy good food and company.
4. **Adherence to Standards:** While we seek relief from specific zoning regulations, we remain committed to upholding all other applicable standards related to health, safety, and environmental impact.

In light of the above considerations, we respectfully request that the zoning board or planning committee grant relief to accommodate the establishment of our proposed restaurant. We are prepared to work closely with the relevant authorities to address any concerns and ensure that our project aligns with the broader goals and interests of the community.

We are eager to contribute positively to the community and look forward to the opportunity to bring our vision to fruition.

Our proposed hours of operation are as follows:

- Sunday to Thursday: 11:00 am to 10:00 pm
- Friday and Saturday: 11:00 am to 12:00 am

We are grateful for your consideration of our request for zoning relief. Our team is eager to collaborate with the zoning board or planning committee to address any concerns and ensure that our proposed sports bar and family restaurant aligns with the community's interests.

Thank you for your time and attention to this matter.

Manager Rod Rivera,



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## Unofficial Property Record Card - Groveland, MA

## General Property Data

Parcel ID 10-313-0  
 Prior Parcel ID 1983 --  
 Property Owner SWANBURG III DONALD E TRS  
 SWANBURG GINA M TRS  
 Mailing Address 6 FOSTER ST  
 City WAKEFIELD  
 Mailing State MA Zip 01880  
 Parcel Zoning B

Account Number  
 Property Location 292 MAIN ST  
 Property Use SHOPCTR  
 Most Recent Sale Date 10/2/2015  
 Legal Reference 34419-399  
 Grantor LEE, HANMIN TRS  
 Sale Price 708,000  
 Land Area 0.344 acres

## Current Property Assessment

Card 1 Value Building Value 779,500

Xtra Features  
Value 0

Land Value 218,700

Total Value 998,200

## Building Description

Building Style COMM BLOCK  
 # of Living Units 4  
 Year Built 1950  
 Building Grade AVERAGE  
 Building Condition Avg-Good  
 Finished Area (SF) 7966  
 Number Rooms 10  
 # of 3/4 Baths 0

Foundation Type BRICK/STN  
 Frame Type CONC BLOCK  
 Roof Structure FLAT  
 Roof Cover MEMBRANE  
 Siding CLAPBOARD  
 Interior Walls DRYWALL  
 # of Bedrooms 0  
 # of 1/2 Baths 5

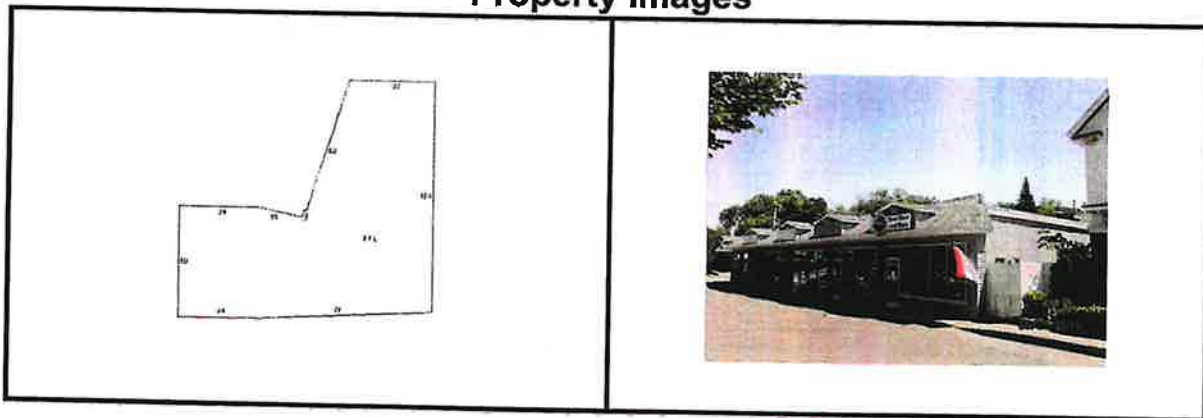
Flooring Type LINO/VINYL  
 Basement Floor N/A  
 Heating Type FORCED H/A  
 Heating Fuel OIL  
 Air Conditioning 75%  
 # of Bsmt Garages 0  
 # of Full Baths 0  
 # of Other Fixtures 5

## Legal Description

## Narrative Description of Property

This property contains 0.344 acres of land mainly classified as SHOPCTR with a(n) COMM BLOCK style building, built about 1950, having CLAPBOARD exterior and MEMBRANE roof cover, with 4 unit(s), 10 room(s), 0 bedroom(s), 0 bath(s), 5 half bath(s).

## Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.

# Town of Groveland

02/22/20



data sources: Produced by Merrimack Valley Planning Commission (MVPC) using data provided by the Town of Groveland & MassGIS. MVPC AND THE TOWN OF GROVELAND MAKES NO WARRANTIES, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY, COMPLETENESS, LIABILITY OR SUITABILITY OF THESE DATA. THE TOWN OF GROVELAND AND MVPC DOES NOT ASSUME ANY LIABILITY ASSOCIATED WITH THE USE OR MISUSE OF THIS INFORMATION.



| MVPC Boundary |           | Legend             |                       |
|---------------|-----------|--------------------|-----------------------|
| Local Road    | Parcels   | Building Footprint | Roads                 |
|               | Easements | Road Right of Way  | Hydrographic Features |
|               |           |                    | Interstate            |
|               |           |                    | Streams               |
|               |           |                    | Major Road            |
|               |           |                    | Wetlands              |

1:480

|  |  |  |
|--|--|--|
| <b>10-001-0</b><br>LI TRS JING<br>LI YANG TRS ZONG<br>10 BLUEJAY RD<br>LYNNFIELD, MA 01940             | <b>10-001-B</b><br>MASSACHUSETTS COMM<br>DEPARTMENT OF HIGHWAYS<br>10 PARK PLAZA ROOM 6160<br>BOSTON, MA 02116   | <b>10-003-0</b><br>GROVELAND SQUARE LLC<br>2 SCHOOL ST<br>GROVELAND, MA 01834                                  |
| <b>10-004-0</b><br>GROVELAND SQUARE LLC<br>2 SCHOOL ST<br>GROVELAND, MA 01834                          | <b>10-005-0</b><br>BOOTH TR CARL L<br>CLB REV TRUST<br>289 MAIN ST<br>GROVELAND, MA 01834                        | <b>10-006-0</b><br>MINICHELLO ALLISON T<br>9 PERKINS CT<br>HAVERHILL, MA 01832                                 |
| <b>10-007-0</b><br>JOHANSON SHARON A<br>JOHANSON STEVEN C<br>281 MAIN ST<br>GROVELAND, MA 01834        | <b>10-010-0</b><br>ANDERSON GERALD B TRS<br>ANDERSON MICHAEL A TRS<br>282 MAIN ST<br>GROVELAND, MA 01834         | <b>10-010-A</b><br>YUNKER GERALD E<br>YUNKER CAROL M<br>8 CHESTNUT ST<br>GROVELAND, MA 01834                   |
| <b>10-011-0</b><br>BULLERS MICHAEL L<br>BULLERS CAITLIN M S<br>288 MAIN ST<br>GROVELAND, MA 01834      | <b>10-012-0</b><br>GUZMAN SOTO JOSE A<br>290 MAIN ST<br>GROVELAND, MA 01834                                      | <b>10-013-0</b><br>SWANSBURG III DONALD E TRS<br>SWANSBURG GINA M TRS<br>6 FOSTER ST<br>WAKEFIELD, MA 01880    |
| <b>10-014-0</b><br>VALHOULI JOHN N TRS<br>VALHOULI GEORGIA TRS<br>1018 OCEAN BLVD<br>HAMPTON, NH 03842 | <b>10-015-0</b><br>VALHOULI JOHN N TRS<br>JOHN N VALHOULI REALTY TRUST<br>1018 OCEAN BLVD<br>HAMPTON, NH 03842   | <b>10-016-0</b><br>VALHOULI JOHN N TRS<br>JOHN N VALHOULI REALTY TRUST<br>1018 OCEAN BLVD<br>HAMPTON, NH 03842 |
| <b>10-017-0</b><br>MARTIN ALEXANDER R<br>MARTIN SOPHIE A<br>18 ELM PARK<br>GROVELAND, MA 01834         | <b>10-018-0</b><br>COLPITTS JULIA A<br>CLAYTON F COLPITTS IRV TRUST<br>20 ELM PK<br>GROVELAND, MA 01834          | <b>10-019-0</b><br>CROSS TR JAMES<br>ELM PARK TRUST<br>24 ELM PK<br>Groveland, MA 01834                        |
| <b>10-021-0</b><br>LONGO JOHN J<br>15 CHESTNUT ST<br>GROVELAND, MA 01834                               | <b>10-029-0</b><br>GREGORY TRS ROBERT J<br>147 MERIDIAN REALTY TRUST<br>84 CALDWELL FARM RD<br>BYFIELD, MA 01922 | <b>10-030-0</b><br>WATERVIEW MANAGEMENT LLC<br>8 FEDERAL WAY<br>GROVELAND, MA 01834                            |
| <b>10-031-0</b><br>SHUCK TRS JULIE A<br>JAS REALTY TRUST<br>19 ELM PARK<br>GROVELAND, MA 01834         | <b>10-035-0</b><br>S B A P RAM CORP INC<br>C/O SANJAY PATEL<br>5 TALBOT LN<br>CHELMSFORD, MA 01824               | <b>10-036-0</b><br>MARTEL STEPHEN G<br>MARTEL SUSAN M<br>7 ROCKY WOODS RD<br>GROVELAND, MA 01834               |
| <b>10-038-0</b><br>APPLIED GRAPHICS INC<br>HUNT ROAD<br>AMESBURY, MA 01913                             | <b>10-039-0</b><br>FKG PROPERTIES LLC<br>8 PROSPESCT ST<br>GEORGETOWN, MA 01833                                  | <b>10-039-A</b><br>STARK GREGORY W JR<br>304 MAIN STREET<br>GROVELAND, MA 01834                                |
| <b>10-040-0</b><br>APPLIED GRAPHICS INC<br>HUNT ROAD<br>AMESBURY, MA 01913                             | <b>10-040-A</b><br>APPLIED GRAPHICS INC<br>HUNT ROAD<br>AMESBURY, MA 01913                                       | <b>10-042-0</b><br>BEVELAQUA TR ANNE S<br>CONNELL TR MELISSA ANNE<br>2 SCHOOL STREET<br>GROVELAND, MA 01834    |

**10-043-0**

DUFRESNE JAMES H  
WOOD CYNTHIA R  
6 SCHOOL ST  
GROVELAND, MA 01834

**10-044-0**

WOOD MICHAEL  
BELLEMORE-WOOD BONNIE  
8 SCHOOL ST  
GROVELAND, MA 01834

**11-119-0**

LAPORTE (LF EST) GAIL M  
LAPORTE TR SARAH M  
34 UNION ST  
GROVELAND, MA 01834

**11-155-0**

BANKNORTH NA  
LEASE AND TAX ADMIN DEPART  
380 WELLINGTON ST

**CERTIFIED**  
Board of Assessors  
Groveland, MA



A - 1



GENERAL 1.

- THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE MASSACHUSETTS STATE BUILDING CODE FOR 1 & 2 FAMILY DWELLINGS (7TH EDITION)
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOP DRAWINGS
3. THE CONTRACTOR SHALL CONFORM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES, AMBIGUITIES, OR ILL CONSISTENCIES PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.
4. AN ASSUMPTION HAS BEEN MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 24". THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THIS IS INCONSISTENT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.
6. ALL DUCTWORK AND HOT WATER PIPING SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DUCTWORK WILL BE PROVIDED TO PREVENT CONDENSATION.
7. ALL CHIMNEYS TO BE CONSTRUCTED SO THE TOP OF THE FLE IS 2'-6" ABOVE ANY ROOF WALL WITHIN 10'-0"
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF WALL INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.

DIMENSIONS.

1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWS UNLESS OTHERWISE NOTED:
- A. DIMENSIONS TO THE EXTERIOR WALLS ARE FROM OUTSIDE FACE OF STUD OR CONCRETE WALL.
- B. DIMENSIONING AT WINDOWS AND EXTERIOR DOORS REPRESENTS A DIMENSION TO THE CENTER OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE OUTSIDE FACE OF A STUD OR CONCRETE WALL. C. INTERIOR DIMENSIONING AT STUD WALLS REPRESENTS A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS INTERIOR WALL IS ALSO AN EXTERIOR WALL, THEN DIMENSION IS TO FACE OF STUD).
2. INTERIOR DIMENSIONING AT STAIRS REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAIR.
3. DIMENSION/ LOCATIONS OF WALLS ENCLOSING TUB/ SHOWER UNITS, PRE-MANUFACTURED FIREPLACES AND ALL OTHER BUILT-INS, MUST BE CONFIRMED WITH THE FIXTURE MANUFACTURER FOR THE REQUIRED R.O. AND ATTACHMENT.
4. DIMENSIONS DERIVING THE BUILDING HEIGHT, SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS ARE FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE 1ST FLOOR DECK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND ESTABLISHING THE GRADE RELATIVE TO THE 1ST FLOOR, TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.
5. ALL DIMENSIONS FROM EXISTING SURFACES ARE FROM FACE OF EXISTING SURFACE.
6. CLOSET DOORS THAT ARE NOT DIMENSIONED ARE TYPICALLY CENTERED WITHIN THE CLOSET.
7. ALL OTHER DOORS THAT ARE NOT DIMENSIONED ARE TYPICALLY 4" TO 6" (DEPENDING ON THE FINISH CASING WIDTH).
8. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING.

TYP. STAIRWAYS/ BALCONIES.

1. STAIRWAYS SHALL NOT BE LESS THAN 3'-0" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. MAXIMUM RISER HEIGHT SHALL BE 8-1/4". MINIMUM TREAD DEPTH SHALL BE 9" WITH NOSING NOT TO EXCEED 1-1/2". WINDER TREADS SHALL HAVE A MINIMUM DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWER SIDE WITH A MINIMUM TREAD DEPTH 3" AT ANY POINT. MINIMUM HEADROOM SHALL BE 6'-0" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.
2. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH 3 OR MORE RISERS. MINIMUM HEIGHT SHALL NOT BE LESS THAN 34" WITH A MAXIMUM NOT TO EXCEED 38". HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT.
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOOR, PORCH, AND/OR BALCONY AREA MORE THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN 30" ABOVE A FLOOR OR GRADE BELOW, SHALL BE NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. THE MAXIMUM CLEAR OPENING BETWEEN RAILS, BALUSTERS, AND FLOORS SHALL NOT EXCEED 5". EXCEPTION: THE TRIANGULAR OPENINGS FORMED BY THE RISER TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 6" SPHERE CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 5-3/8" TO PASS THROUGH.
4. AN INSULATED DOOR SHALL BE PROVIDED AT THE TOP OF THE UNFINISHED BASEMENT STAIRS OR INSULATE THE WALLS AND THE UNDERSIDE OF STAIRS AND PROVIDE AN INSULATED DOOR AT THE BOTTOM OF BASEMENT STAIRS.
5. AN INSULATED DOOR SHALL BE PROVIDED AT THE TOP OF UNFINISHED BASEMENT STAIRS OR INSULATE THE WALLS AND THE UNDERSIDE OF STAIRS AND PROVIDE AN INSULATED DOOR AT THE BOTTOM TO PASS THROUGH.

EMERGENCY ESCAPE AND RESCUE OPENINGS

1. WINDOW SIZES SHOWN ON THE DRAWINGS ARE BASE GENERICALLY ON PELLA AND THE OWNER OR (GENERAL CONTRACTOR WHERE APPLICABLE) SHALL CHOOSE THE FINAL MANUFACTURER WINDOW SIZES SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO ORDERING. ROUGH OPENING SIZES SHALL BE PROVIDED BY THE MANUFACTURER.
2. BASEMENTS WITH HABITABLE SPACE AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN MORE THAN ONE SLEEPING ROOM, EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING BUT ADJOINING AREAS SHALL NOT REQUIRE ONE EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET THE FOLLOWING CRITERIA:
- A. SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
- B. WHERE A DOOR HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE. THE BULKHEAD SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULKHEAD IS FULLY OPENED IT SHALL PROVIDE THE MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.
- C. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A SILL ELEVATION BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL WITH A MINIMUM HORIZONTAL AREA OF 9 SQUARE FEET AND A MINIMUM HORIZONTAL PROJECTION OF 36 INCHES. THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND EGRESS OPENING TO BE FULLY OPENED.
- D. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

EXCEPTIONS:

1. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.
2. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A NET CLEAR OPENING OF 33 SQUARE FEET PROVIDED THAT AT LEAST ONE OPERABLE SASH MEETS THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS. E. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES. F. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. G. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.

EGRESS

1. STAIRWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EGRESS REQUIREMENTS.
2. ALL REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.
3. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH GYPSUM BOARD.
4. HALLWAYS SHALL BE A MINIMUM OF 3 FOOT CLEAR.
5. EGRESS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT OF 6 FOOT 8 INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED.
6. EGRESS THROUGH AN ATTACHED GARAGE IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32 INCH EXIT DOOR.
7. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE TWO REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS.
8. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES AND NOMINAL HEIGHT OF 8 INCHES EXCEPT BATHROOMS WHICH ARE PERMITTED TO BE 24 INCHES IN NOMINAL WIDTH.
9. A FLOOR OR LANDING SHALL BE PROVIDED ON EACH SIDE OF AN EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL.

MINIMUM ROOM REQUIREMENTS.

1. HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING. EXCEPTIONS: 1. BEAMS AND GIRDERS SPACED NOT LESS THAN 4 FEET ON CENTER MAY PROJECT NOT MORE THAN 6 INCHES BELOW THE REQUIRED CEILING HEIGHT.
2. CEILINGS IN BASEMENTS WITHOUT HABITABLE SPACE MAY PROJECT TO WITHIN 6 FEET 8 INCHES OF THE FINISHED FLOOR EXCEPT THAT BEAMS, GIRDERS, DUCTS AND OTHER OBSTRUCTIONS MAY PROJECT TO WITHIN 6 FEET 4 INCHES OF THE FINISHED FLOOR.
3. NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA OF A ROOM IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN SEVEN FEET IN HEIGHT WITH NO PORTION OF THE REQUIRED FLOOR AREA LESS THAN 5 FEET IN HEIGHT.
4. ELEVATIONS SHALL HAVE A MINIMUM CEILING HEIGHT OF 6 FEET 8 INCHES OVER THE FIXTURE AND AT THE FRONT CLEARANCE AREA FOR THE FIXTURES.

- A SHOWER OR TUB WITH A SHOWERHEAD SHALL HAVE A MINIMUM CEILING HEIGHT OF 6 FEET 8 INCHES ABOVE A MINIMUM 30" X 60" AREA AT THE SHOWERHEAD.
2. EVERY DWELLING SHALL HAVE AT LEAST ONE HABITABLE ROOM WITH GROSS FLOOR AREA OF AT LEAST 150 SQUARE FEET.
3. OTHER HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 100 SQUARE FEET EXCEPT KITCHEN.
4. HABITABLE ROOMS SHALL NOT BE LESS THAN 7 FEET OR A FURRED CEILING MEASURING LESS THAN 7 FEET SHALL NOT BE CONSIDERED AS CONTRIBUTING TO THE MINIMUM REQUIRED HABITABLE AREA FOR THAT ROOM.

ROOFING AND SIDING

1. PROVIDE CONTINUOUS 3'-0" WIDE FIBERGLASS REINFORCED, BITUTHENE, ICE AND WATER SHIELD AT ALL ROOF EDGES CENTERED ON ALL VALLEYS AND AT ROOF WALL INTERSECTIONS CARRIED 1'-0" UP THE WALL/ RAFTER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PROVIDE ALUMINUM STEP FLASHING AT ROOFWALL AND ROOF/CHIMNEY INTERSECTIONS.
3. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOOR HEAD TRIM AND AT THE CONNECTION BETWEEN ALL EXTERIOR WALLS AND EXTERIOR DECKS.
4. PROVIDE CONTINUOUS SOFFIT VENTS OR CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.
5. PROVIDE 15" FELT UNDER ALL ROOF SHINGLES.
6. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING ELEVATION FOR EXTENT.
7. ALL GUTTERS AND DOWNSPOUTS TO BE PREFINISHED ALUMINUM.

COLOR TO BE SELECTED BY OWNER.

LIGHT/VENTILATION AND INSULATION.

1. ALL HABITABLE ROOM SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS.

NATURAL VENTILATION SHALL BE THROUGH DOORS, WINDOWS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED.

EXCEPTIONS:

1. THE GLAZED AREAS NEED NOT BE OPENABLE WHEN THE OPENING IS NOT REQUIRED TO BE AN EMERGENCY ESCAPE AND RESCUES OPENING AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED AND CAPABLE OF PRODUCING 0.35 AIR EXCHANGE PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOORS VENTILATION AIR OF 15 CFM PER OCCUPANT WITH 2 FOR THE FIRST BEDROOM AND ONE FOR EVERY ADDITIONAL BEDROOM.
2. THE GLAZED AREAS NEED NOT BE PROVIDED IN ROOMS WHERE THE ABOVE EXCEPTION IS MET, AND ARTIFICIAL LIGHT IS PROVIDED AND CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30". 2. ALL BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 3 SQUARE FEET, OF WHICH MUST BE OPENABLE. EXCEPTION: THE GLAZED AREA SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT AND MECHANICAL VENTILATION SYSTEM ARE PROVIDED. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.
3. EXHAUST FANS ARE NOT REQUIRED IN HALF-BATHROOMS (TOILET AND SINK ONLY) PER 1 & 2 FAMILY CODE. REFER TO THE MASSACHUSETTS SANITARY AND FUEL GAS AND PLUMBING CODES FOR ANY ADDITIONAL REQUIREMENTS.
4. ATTIC VENTILATION WITH A CEILING VAPOR BARRIER, PROVIDE AT LEAST 1 SQUARE FOOT OF FREE AREA FOR EACH 300 SQUARE FEET OF CEILING AREA.
5. ATTIC VENTILATION WITHOUT A CEILING VAPOR BARRIER, PROVIDE AT LEAST 1 SQUARE FOOT OF FREE AREA FOR EACH 150 SQUARE FEET OF CEILING AREA.
6. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A MOISTURE BARRIER AND PROPERLY INSULATE ALL WALLS AND CEILINGS TO AIR LEAKAGE INTO UNCONDITIONED SPACES.
7. IF MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT IS TO BE PLACED IN ATTICS, EYES, OVERHANGS AND OTHER SIMILAR UNCONDITIONED, UNINSULATED SPACES, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A PROPER ENCLOSURE, INSULATION, DIRECT VENTILATION, ETC. TO AVOID MOISTURE, CONDENSATION, FREEZE THAW, ICE DAMMING, AND OTHER SIMILAR ISSUES.

PLUMBING.

1. ALL SANITARY LINES WITHIN WALLS AND FLOORS ADJOINING LIVING SPACES ARE TO BE SOUND INSULATED.
2. ALL PLUMBING WITHIN WALL OR FLOOR CAVITIES WHICH BORDER UNCONDITIONED SPACES, ARE TO BE INSULATED AND ON THE WARM SIDE OF THE CAVITY INSULATION TO AVOID FREEZING.

SMOKE & CARBON MONOXIDE

1. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS ARE ACCEPTABLE PROVIDED SAID ALARMS HAVE SIMILAR VOICE AND TONE ALARMS THAT CLEARLY DISTINGUISH BETWEEN THE TWO TYPES OF EMERGENCIES. IF COMBINATION ALARMS ARE TO BE USED THAN ALL REQUIRED CRITERIA FOR SMOKE AND CARBON MONOXIDE DETECTORS NEED TO BE MET.
2. FIRE DEPARTMENTS ARE REQUIRED TO INSPECT, UPON SALE OR TRANSFER, ALL DWELLING UNITS FOR REQUIRED SMOKE AND CARBON MONOXIDE DETECTORS.
3. CONSUMERS SHALL CHECK WITH LOCAL BUILDING AND/OR FIRE OFFICIALS FOR ACCEPTED ALARM TYPES AND LOCATIONS FOR PROPER INSTALLATION IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

SMOKE ALARMS/DETECTORS

1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURERS, INSTRUCTIONS AND LISTING CRITERIA.
2. SMOKE DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC PRIMARY POWER SOURCE AND SHALL HAVE SECONDARY (STANDBY) POWER.
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNIT TO SOUND (MIN. 85 DBA AT 10 FEET, 75 DBA IN BEDROOMS).
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: A. IN THE IMMEDIATE VICINITY OF ALL BEDROOMS. B. IN ALL BEDROOMS. C. IN EACH STORY OF A DWELLING UNIT (INCLUDING BASEMENTS & CELLARS) FOR EACH 1200 SQUARE FEET OR PART THEREOF. D. NEAR THE BASE OF ALL STAIRS WHERE SUCH STAIRS LEAD TO ANOTHER OCCUPIED FLOOR.
5. PHOTO ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 10 FEET OF A KITCHEN OR BATHROOM. 6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.

CARBON MONOXIDE ALARMS/DETECTORS.

1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURERS INSTRUCTIONS AND LISTING CRITERIA.
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLARS (BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS).
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF DBA AT 10 FEET.

HEAT DETECTORS

1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE.
2. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CRITERIA. IF THE EXISTING DWELLING CONTAINS A FIRE DETECTION SYSTEM THAT IS COMPATIBLE WITH THE GARAGE HEAT DETECTOR THAT THE GARAGE HEAT DETECTOR SHALL BE INTERCONNECTED TO THE EXISTING DWELLING FIRE DETECTION SYSTEM. IF THE DETECTOR IS NOT COMPATIBLE THAN THE DETECTOR SHALL BE CONNECTED TO A SOUNDER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNDING DEVICE, LOCATED IN THE DWELLING UNIT AND WITHIN 20 FEET OF THE NEAREST DOOR THROUGH THE GARAGE.
3. FOR FLAT-FINISHED GARAGE CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING, FOR VAULTED/SLOPED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE VAULTED SPACE.
4. THE REQUIRED HEAT DETECTOR SHALL BE LISTED AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS OF THE REQUIRED HOUSEHOLD FIRE ALARM SYSTEM SUCH THAT THE ACTIVATION OF THE HEAT DETECTOR WILL ACTIVATE ALL OF THE AUDIBLE ALARMS OF THE HOUSEHOLD FIRE ALARM SYSTEM THROUGHOUT THE DWELLING.

SPRINKLERS

1. ALL ONE AND TWO FAMILY DWELLINGS HAVING AN AGGREGATE AREA GREATER THAN 14,400 SQUARE FEET, INCLUDING BASEMENTS BUT NOT INCLUDING GARAGES AND UNFINISHED ATTICS SHALL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13D



ROD'S HOME IMPROVEMENT AND DESIGN  
781-389-2901

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TECATE CORONA MEXICAN  
RESTAURANTE & SPORT BAR  
8 ELM PARK  
GROVELAND, MA 01834

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DATE:

3/3/2024

SCALE:

1/4" = 1'

SHEET:

A - 2

GENERAL CONDITIONS

1. ALL STRUCTURAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST ADDITION OF THE MASSACHUSETTS STATE BUILDING CODE AND THE INTERNATIONAL BUILDING CODE. CONTRACTOR MUST BUILD EXACTLY WHAT IS SHOWN ON STRUCTURAL DRAWINGS.
2. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED AND APPROVED WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL UNAUTHORIZED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR SHALL REVIEW ALL THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS FOR THE PROJECT AND IS ENTIRELY RESPONSIBLE FOR: COORDINATING THE WORK OF ALL TRADES, VERIFYING ALL THE PROPOSED AND EXISTING BUILDING AND SITE CONDITIONS, MEASUREMENTS AND ALL OTHER RELATED PROPOSED AND EXISTING BUILDING CONDITIONS.
4. ENGINEER'S DESIGN IS DERIVED FROM ASSUMED FIELD CONDITIONS. ANY DISCREPANCIES BETWEEN MUST BE IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ANY CONSTRUCTION.
5. THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ENGINEER AND ARCHITECTURAL DOCUMENTS.
6. PRINCIPAL OPENINGS THROUGH THE FRAMING ARE SHOWN ON THESE DRAWINGS.
7. THE GENERAL CONTRACTOR SHALL EXAMINE THE STRUCTURAL AND MECHANICAL DRAWINGS FOR THE REQUIRED OPENINGS AND SHALL VERIFY SIZE AND LOCATION OF ALL OPENINGS WITH THE MECHANICAL CONTRACTOR.
8. PROVIDING ALL OPENINGS REQUIRED BY THE MECHANICAL, ELECTRICAL, OR PLUMBING TRADES SHALL BE A PART OF THE GENERAL CONTRACT. WHETHER OR NOT SHOWN IN THE STRUCTURAL DRAWINGS, ANY DEVIATION FROM THE OPENINGS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR REVIEW.
9. TYPICAL DETAILS AND NOTES SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE STRUCTURAL WORK UNLESS SPECIFICALLY NOTED OTHERWISE. 1
10. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY CONDITION ONLY.

WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT. 1

1. FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC. SEE ARCHITECTURAL DRAWINGS. CONCRETE 1. ALL CONCRETE WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ACI-318. "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
2. ALL CONCRETE SHALL BE CONTROLLED CONCRETE, MIXED AND PLACED UNDER THE SUPERVISION OF A CONCRETE TESTING AGENCY APPROVED BY THE OWNER.

CONCRETE SHALL BE NORMAL WEIGHT OR LIGHT WEIGHT CONCRETE, AS INDICATED WITH A SAND AND GRAVEL AGGREGATE. TYPE I OR TYPE II PORTLAND CEMENT AND HAVING A MINIMUM COMPRESSIVE STRENGTH (F'C) IN 28 DAYS AS FOLLOWS UNLESS INDICATED ON PLANS. FOOTINGS 4000 PSI (NORMAL WT.) BASEMENT WALLS & PIERS 3000 PSI (NORMAL WT.) INTERIOR SLABS 4000 PSI (NORMAL WT.) EXT. SLABS EXPOSED TO WEATHER 4000 PSI (NORMAL WT.) CONCRETE NOT OTHERWISE SPECIFIED 300PSI (NORMAL WT.)

1. MAXIMUM DENSITY OF NORMAL WEIGHT CONCRETE SHALL BE 150 POUNDS PER CUBIC FOOT. MAXIMUM DENSITY OF LIGHT WEIGHT CONCRETE SHALL BE 11 POUNDS PER CUBIC FOOT.
2. REINFORCING STEEL: TYPICAL - ASTM A615. GRADE 60. FIELD BENT - ASTM 615. GRADE 40 WELDED WIRE FABRIC - ASTM A185.
3. REINFORCING STEEL SHOP DRAWINGS SHALL BE PREPARED AND SUBMITTED TO THE ARCHITECT FOR APPROVAL. THESE DRAWINGS SHALL SHOW COMPLETE AND ACCURATE BAR LAYOUT, SIZES, OPENINGS, ACCESSORIES, AND ALL OTHER INFORMATION NECESSARY FOR COMPLETE AND ACCURATE FABRICATION AND PLACEMENT OF REINFORCING STEEL.
4. THE CONTRACTOR SHALL SUBMIT A CONCRETE MIX DESIGN TO THE OWNER FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO THE FIRST PLACEMENT.
5. CONTRACTOR SHALL PROVIDE A CONCRETE POURING SEQUENCE TO THE ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL 7 DAYS PRIOR TO CONCRETE PLACEMENT.
6. INSPECTION AND TESTING OF CAST-IN-PLACE CONCRETE WORK WILL BE PERFORMED BY AN INDEPENDENT TESTING AGENCY, UNDER A SEPARATE CONTRACT WITH THE OWNER, IF CONCRETE FAILS, CONTRACTOR SHALL PROMPTLY REPLACE CONCRETE MATERIALS OR REDO WORK WHICH HAS BEEN REJECTED BY ARCHITECT AND/OR TESTING AGENCY, AT ON EXPENSE TO THE OWNER.
7. INSPECTION AND APPROVAL BY THE OWNER OR THEIR REPRESENTATIVE SHALL IN NO WAY RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO PROVIDE QUALITY CONTROL, MATERIALS AND WORKMANSHIP FULLY INSURING THAT THIS WORK WILL CONFORM TO THE CONTRACT REQUIREMENTS.
8. SAMPLING AND TESTING FOR QUALITY ASSURANCE DURING THE PLACEMENT OF CONCRETE MAY INCLUDE THE FOLLOWING, AS DIRECTED BY THE ARCHITECT. SAMPLES WILL BE MADE AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK.
9. SLUMP TEST, COMPLYING WITH ASTM C143; ONE TEST FOR EACH SET OF COMPRESSION STRENGTH TEST SPECIMENS. SLUMP AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK SHALL BE 3-5 DEGREES.
10. COMPRESSION TEST SPECIMENS COMPLYING WITH ASTM C31; ONE SET OF 4 STANDARD CYLINDERS FOR EACH COMPRESSION STRENGTH TEST. ONE INTERVAL CHOSEN BY THE ARCHITECT.
11. COMPRESSION STRENGTH TESTS SHALL COMPLY WITH ASTM C39; ONE SPECIMEN TESTED AT 7 DAYS, 2 SPECIMEN TESTED AT 28 DAYS, AND ONE CEMENT. SEE NOTE 3 ABOVE.
12. ALL CONCRETE EXPOSED TO THE WEATHER OR POSSIBLE FREEZE/THAW ACTION SHALL CONTAIN AN AIR ENTRAINMENT ADMIXTURE.
13. CONCRETE FLOOR SLABS ON METAL DECK SHALL HAVE LIGHT-WEIGHT COARSE AGGREGATE, SAND FINE AGGREGATE AND TYPE I OR TYPE II PORTLAND CEMENT. SEE NOTE 3 ABOVE.
14. ALL CONCRETE SHALL BE PLACED WITHOUT HORIZONTAL CONSTRUCTION JOINTS, EXCEPT WHERE SPECIFICALLY NOTED. VERTICAL CONSTRUCTION JOINTS AND STOPS IN SHORED CONCRETE WORK SHALL BE MADE AT MIDSPAN. HORIZONTAL REINFORCEMENT SHALL BE CONTINUOUS THROUGH VERTICAL CONSTRUCTION JOINTS.
15. GROUT UNDER COLUMN BASE PLATES AND UNDER OTHER BEARING PLATES SHALL BE NON-SHRINK, NONMETALLIC GROUT WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 3 DAYS. NON-SHRINK GROUT SHALL BE "EMBECO 153" BY MASTER BUILDERS, "SONOGROUT" BY SONNEBORN BUILDING PRODUCTS, "FIVE STAR GROUT" BY U.S. GROUT CORPORATION, OR EQUAL AS APPROVED BY THE ARCHITECT AND ENGINEER.
16. ALL KEYS SHALL BE 2X4 (NOMINAL) UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
17. REFER TO THE ARCHITECTURAL DRAWINGS FOR CONCRETE FINISHES. WHERE FINISH IS NOT SPECIFIED. CONFORM TO REQUIREMENTS OF ACI 301-SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
18. SEE ARCHITECTURAL DRAWINGS FOR DOOR AND WINDOW OPENINGS, DRIPS, WASHES, REGLETS, CONCRETE FINISHES, MASON ANCHORS, AND FOR MISCELLANEOUS EMBEDDED PLATES, BOLTS, ANCHORS, ANGLES, ETC.
19. THE PLACEMENT OF SLEEVES, OUTLET BOXES, BOX-OUTS, ANCHORS, ETC. FOR THE MECHANICAL, ELECTRICAL, AND PLUMBING TRADES IS THE RESPONSIBILITY OF THE TRADE INVOLVED. HOWEVER, ANY BOX-OUTS NOT COVERED BY TYPICAL DETAILS IN THE STRUCTURAL DRAWINGS SHALL BE SUBMITTED FOR APPROVAL.
20. UNLESS OTHERWISE NOTED, COVER REINFORCING BARS SHALL BE AS INDICATED BELOW. CONCRETE CAST AGAINST AND PERMANENTLY IN CONTACT WITH EARTH.....3" CONCRETE IN CONTACT WITH EARTH OR WEATHER.....2" CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH, FOR SLABS, WALLS & BEAMS.....1-1/2" ROUGH CARPENTRY

1. ALL ROUGH CARPENTRY WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE 9th EDITION OF THE MASSACHUSETTS BUILDING CODE FOR ONE AND TWO FAMILY DWELLINGS (MBC 1 & 2) AND THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS (IRC 1 & 2).
2. REFER TO THE MBC 1 & 2 AND IRC 1 & 2 FOR FRAMING COMPONENTS NOT SPECIFIED IN PLANS AND SECTIONS. NOTIFY THE ENGINEER OF ANY COMPONENT NOT DEFINED IN EITHER THE MBC 1 & 2 AND IRC 1 & 2 OR IN THESE DRAWINGS.
3. REFER TO THE IRC 1 & 2 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE 602.3 FOR CONNECTION FASTENING NOT IDENTIFIED IN THESE PLANS OR DETAILS.
4. WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, PLATES, AND SILLS SHALL BE SPRUCE PINE FIR #2 OR BETTER, WITH A MINIMUM FB = 875 PSI (SINGLE USE) AND FB = 1000 PSI (REPETITIVE USE) AND E SHALL BE 1,400,000 PSI OR BETTER.
5. WOOD STUDS MAY BE EASTERN HEMLOCK, EASTERN SPRUCE, OR HEM-FIR, GRADED "STUD" GRADE #2 OR BETTER.
6. LVL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM FB = 3100 PSI, E = 2,000,000 PSI, AND FV = 285 PSI. LVL BEAMS SHALL BE "VERSALAM" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS THE ENGINEER RECOMMENDATIONS FOR BEARING, REINFORCING, CUTS, CANTILEVERS, FASTENING, ETC. SHALL BE STRICTLY ADHERED TO.
7. WOOD "I" BEAMS SHALL BE BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR. MANUFACTURER'S RECOMMENDATIONS FOR BEARING, REINFORCING, CUTS, CANTILEVERS, FASTENING, ETC. SHALL BE STRICTLY ADHERED TO.
8. PLYWOOD WALL SHEATHING, ROOF SHEATHING AND SUBFLOOR SHALL BE APA GRADE, TRADEMARKED C-D INTERIOR WITH EXTERIOR GLUE. SUBFLOORING SHALL BE ¾" THICK TONGUE AND GROOVE AND SHALL BE GLUED TO FLOOR JOISTS WITH AN APPROVED ADHESIVE PRIOR TO NAILING. ROOF SHEATHING SHALL BE ½" THICK AND WALL SHEATHING SHALL BE ½" THICK.
9. ALL WOOD HAVING DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION SHALL BE PRESSURE TREATED.
10. ALL METAL CONNECTORS INCLUDING JOIST AND BEAM HANGERS AND COLUMN CAP AND BASES SHALL BE BY SIMPSON STRONG-TIE CORP. THE CONTRACTOR SHALL STRICTLY ADHERE TO MANUFACTURER'S FASTENING REQUIREMENTS. CONTRACTOR TO VERIFY ALL CONNECTOR SIZES TO FRAMING ELEMENTS BEFORE ORDERING.
11. UNLESS DETAILED OR SPECIFIED OTHERWISE ON THE PLANS, HEADERS AND BEAMS SHALL BE SUPPORTED BY AT LEAST ON JACK STUD AND ONE KING STUD.
12. FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.
13. MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER, SHALL ONLY BE SPLICED OVER SUPPORTS.
14. PROVIDE SIMPSON H8 HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND ITS BEARING POINT.
15. CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUT, BORED OR NOTCHED IN FRAMING LUMBER. STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN THE BUILDING CODE WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
16. AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID VERTICAL WOOD BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POSTS WITH LOWER SUPPORT. BLOCKING TO MATCH UPPER POST SIZE.
17. SET LVL BEAMS THAT FRAME FLUSH WITH DIMENSIONED LUMBER JOISTS 3/8" BELOW THE TOP OF JOISTS TO ALLOW FOR JOIST SHRINKAGE. WHERE BEARING WALLS OR POSTS LAND ON THESE BEAMS, INFILL GAP WITH 3/8" PLYWOOD FOR SOLID BEARING.
18. BEAMS COMPRISED OF 3 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF 2-½" BOLTS AT 16" ON CENTER OR 3-1/4" DIAMETER SELF-TAPPING LAG SCREWS AT 16" ON CENTER, ALTERNATING INSERTION SIDES. FOLLOW MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE ON DRAWINGS.
19. IN ADDITION TO THE FLOOR JOIST SHOWN IN THE PLANS, CONTRACTOR SHALL INSTALL DOUBLE JOISTS UNDER ALL PARTITION WALLS RUNNING PARALLEL TO THE DIRECTION OF FRAMING.
20. MINIMUM BEAM BEARING TO BE 3 INCHES UNLESS NOTED OTHERWISE ON PLANS.

FOUNDATIONS

1. WHERE FOUNDATIONS ARE EXISTING, DESIGN HAS BEEN COMPLETED ASSUMING FOUNDATIONS ARE SUITABLE TO SUPPORT PROPOSED RENOVATION. CONTRACTOR RESPONSIBLE FOR VERIFYING THAT THE EXISTING FOUNDATION CONFORMS TO BUILDING CODE REQUIREMENTS AND REPORT FOOTING CONDITIONS TO ENGINEER FOR VERIFICATION.
2. EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON THE INORGANIC, UNDISTURBED SOIL OR CONTROLLED STRUCTURAL BACKFILL AS REQUIRED BY THE ARCHITECT. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING AN CONCRETE.
3. EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET OR AS MODIFIED BY THE STRUCTURAL ENGINEER BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATIONS DUE TO FIELD CONDITIONS MUST HAVE THE APPROVAL OF THE ARCHITECT.
4. SOIL BEARING CAPACITY: FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT.
5. BACKFILL BELOW FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 6" LAYERS. LAYERS SHALL BE COMPACTED TO 96% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557. 6. BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT FOR WOOD FRAMED CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST-FLOOR DECK HAS BEEN FRAMED AND SHEATHED. UNLESS WRITTEN APPROVAL IS GIVEN BY THE ARCHITECT OR ENGINEER.
7. PROVIDE FOUNDATION DRAINAGE, WATERPROOFING/DAMP-PROOFING AND FOUNDATION WALL INSULATIONS AS INDICATED ON THE ARCHITECTURAL DRAWINGS. LIVE LOADS PER MASSACHUSETTS STATE BUILDING CODE LIVE LOADS GROUND SNOW LOAD: 40 PSF STAIRS: 100 PSF CORRIDORS: 100 PSF CORRIDORS ABOVE THE 1ST FLOOR: 80PSF RESIDENTIAL AREAS: 40 PSF EXTERIOR DECKS (SERVING A SINGLE UNIT) 40 PSF WIND LOADS MASSACHUSETTS STATE BUILDING CODE 100 MPH. EXPOSURE B DEAD LOADS WEIGHT OF MATERIALS AND CONSTRUCTION EARTHQUAKE LOAD - PER 2009 IBC WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS SEISMIC SITE CLASS: D SEISMIC DESIGN CATEGORY: B SEISMIC RESISTING SYSTEM: LIGHT FRAME (WOOD) WALL SHEATHING WITH WOOD STRUCTURAL PANELS R = 6.5 CD = 3 CD = 4 ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE SEISMIC COEFFICIENT: SS= 0.29 SI= 0.068 LATERAL

FRAMING NOTES

1. THE STRUCTURAL DESIGN OF THIS RESIDENCE WAS PERFORMED IN COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS. THE PRESCRIPTIVE REQUIREMENTS OF THIS CODE DO NOT APPLY PER SECTIONS 301,1,3 ALTERNATIVE PROVISIONS AND 301.1.3 ENGINEERED DESIGN.
2. FRAMING COMPONENTS AND FASTENERS AS IDENTIFIED IN THESE DRAWINGS AND NOTES ADEQUATELY RESIST THE LATERAL LOAD REQUIREMENTS AS DEFINED BY THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.
3. ALL EXTERIOR WALLS TO FOLLOW SHEARWALL CRITERIA FOR SHEARWALL SET FORTH IN TABLES IN PROCEEDING PAGES.
4. ALL PLYWOOD SEAMS IN A SHEARWALL SHALL BE BLOCKED WITH DIMENSIONAL LUMBER OF THE SAME SIZE AS THE WALL STUDS.
5. REFER TO PLANS AND SECTIONS FOR STUD SIZES. STUDS SHALL BE SPACED AT 16 INCHES ON CENTER UNLESS NOTED OTHERWISE ON PLAN.
6. CARE SHOULD BE TAKEN TO ADJUST NAIL GUN PRESSURE SO AS NOT TO OVERDRIVE NAILS INTO PLYWOOD. NAIL HEADS SHOULD BE FLUSH WITH PLYWOOD FACE. OVER DRILLING NAILS GREATLY REDUCES THE EFFECTIVENESS OF THE SHEARWALL.
7. FOR FRAMING SIZES REFER TO FRAMING PLAN

|  |             |
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| <br>ROD RIVERA AND BIBIANA GONZALEZ VIANA<br>C/S & DESIGNERS<br>781-388-2901 |             |
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PROJECT:  
TECATE CORONA MEXICAN  
RESTAURANTE & SPORT BAR  
8 ELM PARK  
GROVELAND, MA 01834

DRAWINGS PROVIDED BY:  
ROD RIVERA  
BIBIANA GONZALEZ VIANA  
C/S & DESIGNERS  
781-388-2901

CALCULATED NOTES  
The structural design of this residence was performed in compliance with the International Residential Code for One and Two Family Dwellings. The prescriptive requirements of this code do not apply per sections 301,1,3 alternative provisions and 301.1.3 engineered design. Framing components and fasteners as identified in these drawings and notes adequately resist the lateral load requirements as defined by the International Residential Code for One and Two Family Dwellings. All exterior walls to follow shearwall criteria for shearwall set forth in tables in proceeding pages. All plywood seams in a shearwall shall be blocked with dimensional lumber of the same size as the wall studs. Refer to plans and sections for stud sizes. Studs shall be spaced at 16 inches on center unless noted otherwise on plan. Care should be taken to adjust nail gun pressure so as not to overdrive nails into plywood. Nail heads should be flush with plywood face. Over drilling nails greatly reduces the effectiveness of the shearwall. For framing sizes refer to framing plan.

DATE:

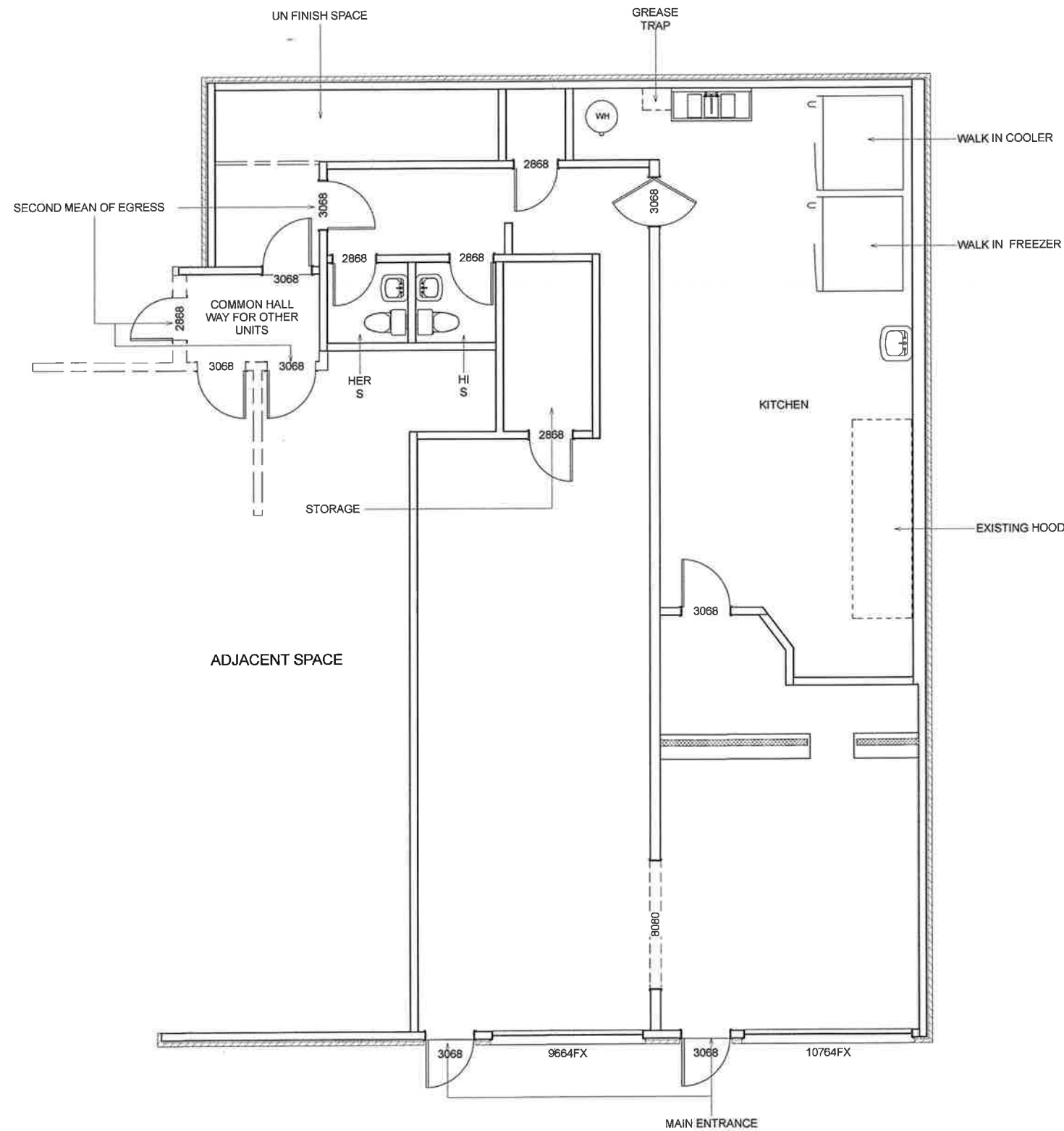
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SCALE:

1/4" = 1'

SHEET:

A - 3



A-4  
1  
EXISTING LAYOUT  
1/4"=1'

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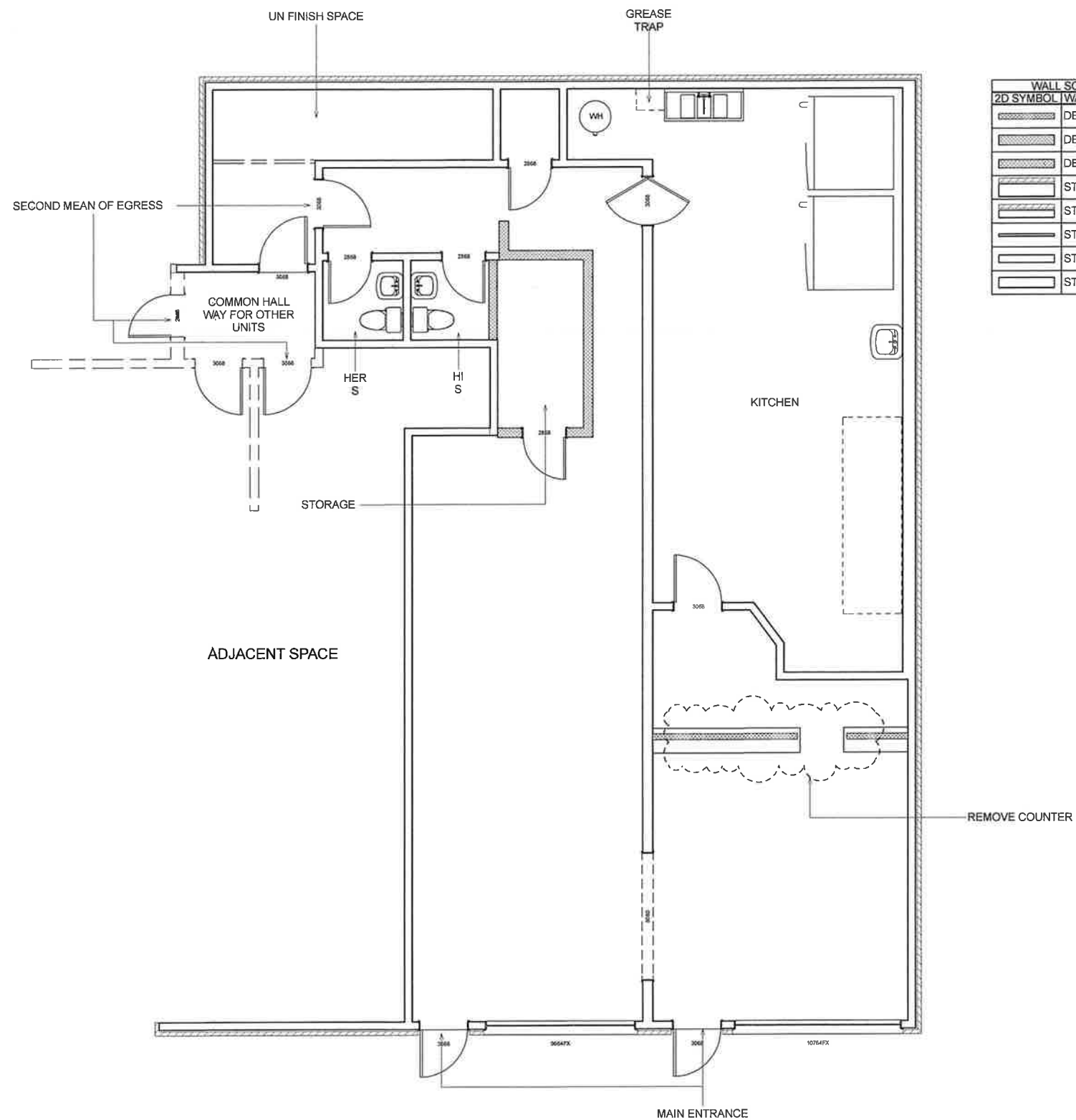
PROJECT:  
TECATE CORONA MEXICAN  
RESTAURANTE & SPORT BAR  
8 ELM PARK  
GROVELAND, MA 01834

DRAWINGS PROVIDED BY:  
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BIBIANA GONZALEZ VIANA  
CRS & DESIGNERS  
781-389-2901

**LEGEND:**  
ALL DIMENSIONS ARE IN FEET AND INCHES.  
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| WALL SCHEDULE |                  |
|---------------|------------------|
| 2D SYMBOL     | WALL TYPE(S)     |
|               | DEMOLITION-4     |
|               | DEMOLITION-6     |
|               | DEMOLITION-6-7   |
|               | STEEL BRICK-10   |
|               | STEEL BRICK-6    |
|               | STEEL INTERIOR-2 |
|               | STEEL INTERIOR-6 |
|               | STEEL INTERIOR-8 |

FLOOR AREA  
2099 SQ FT

**DEMOLITION PLAN**  
1/4"=1'



ROD RIVERA ARCHITECTURE AND DESIGN  
781-389-2901

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PROJECT TITLE:  
**TECATE CORONA MEXICAN RESTAURANTE & SPORT BAR**  
PAGE TITLE:  
8 ELM PARK  
GROVELAND, MA 01834

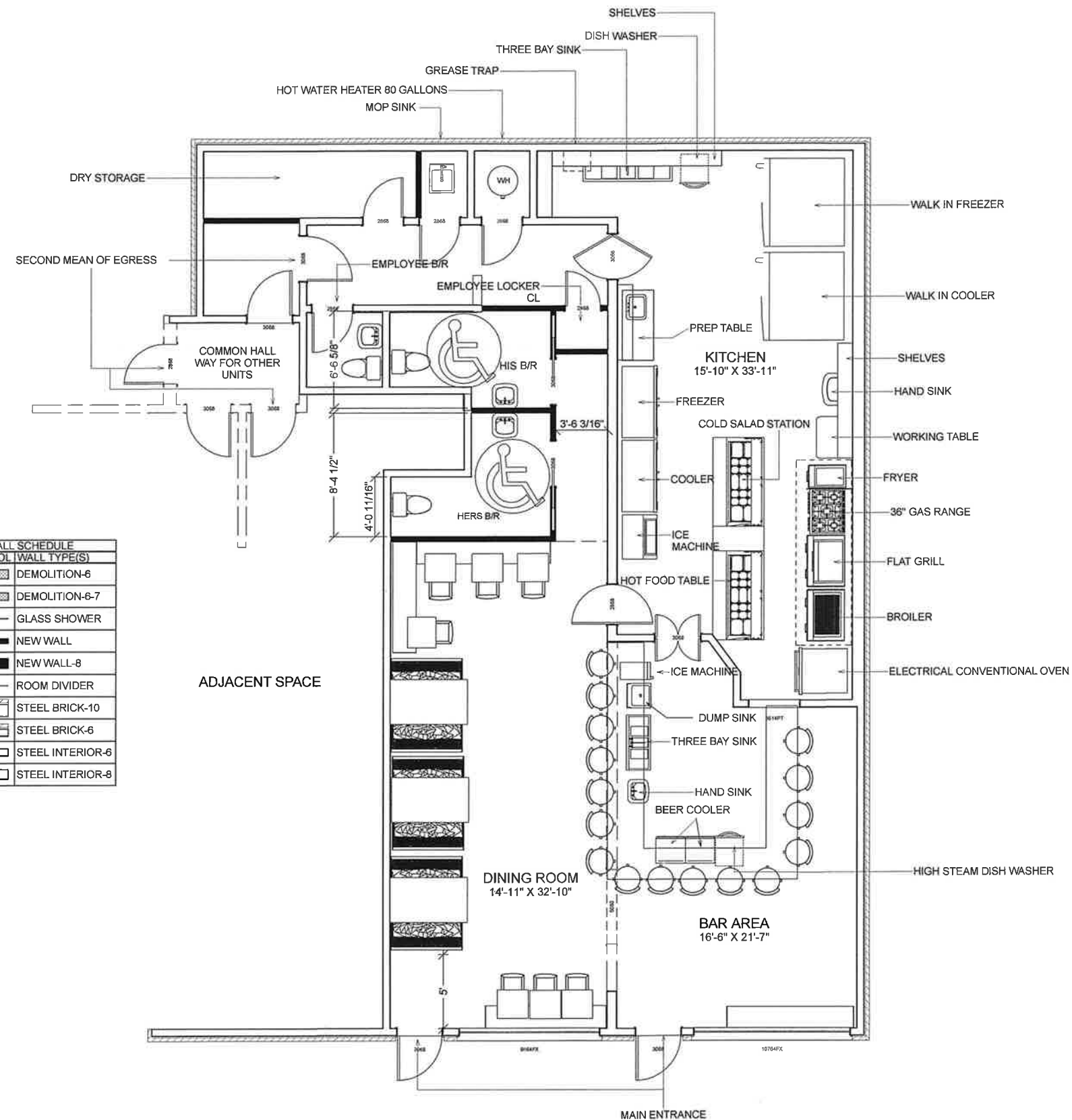
DRAWINGS PROVIDED BY:  
**ROD RIVERA**  
**BIBIANA GONZALEZ VIANA**  
C/S & DESIGNERS  
781-389-2901

**CONSTRUCTION NOTE**  
1. ALL EXISTING WALLS TO REMAIN SHALL BE REPAIR AND PATCHED TO MATCH ADJACENT WALLS.  
2. ALL EXISTING WALLS TO BE DEMOLISHED SHALL BE REMOVED TO EXPOSE STRUCTURE.  
3. ALL EXISTING WALLS TO BE DEMOLISHED SHALL BE REMOVED TO EXPOSE STRUCTURE.  
4. ALL EXISTING WALLS TO BE DEMOLISHED SHALL BE REMOVED TO EXPOSE STRUCTURE.  
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9. ALL EXISTING WALLS TO BE DEMOLISHED SHALL BE REMOVED TO EXPOSE STRUCTURE.  
10. ALL EXISTING WALLS TO BE DEMOLISHED SHALL BE REMOVED TO EXPOSE STRUCTURE.

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3/3/2024

SCALE:  
1/4" = 1'

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**A - 5**



A-6  
1

## TENANT FIT FOR RESTAURANT/SPORT BAR

PROJECT TITLE:  
PAGE TITLE:

TECATE CORONA MEXICAN  
RESTAURANTE & SPORT BAR  
8 ELM PARK  
GROVELAND, MA 01834

**ROD RIVERA**  
**IBIANA GONZALEZ VIANA**  
**C/S & DESIGNERS**  
**781-388-2901**

the University Law School and the University of Chicago Law School. He is also a frequent speaker at seminars and conferences on the law of torts and on the law of contracts. He is a member of the American Law Institute and the American Bar Association. He is also a member of the American Law Institute and the American Bar Association.

HEET:

A - 6



| REVISION TABLE | NUMBER | DATE | REVISION BY | DESCRIPTION |
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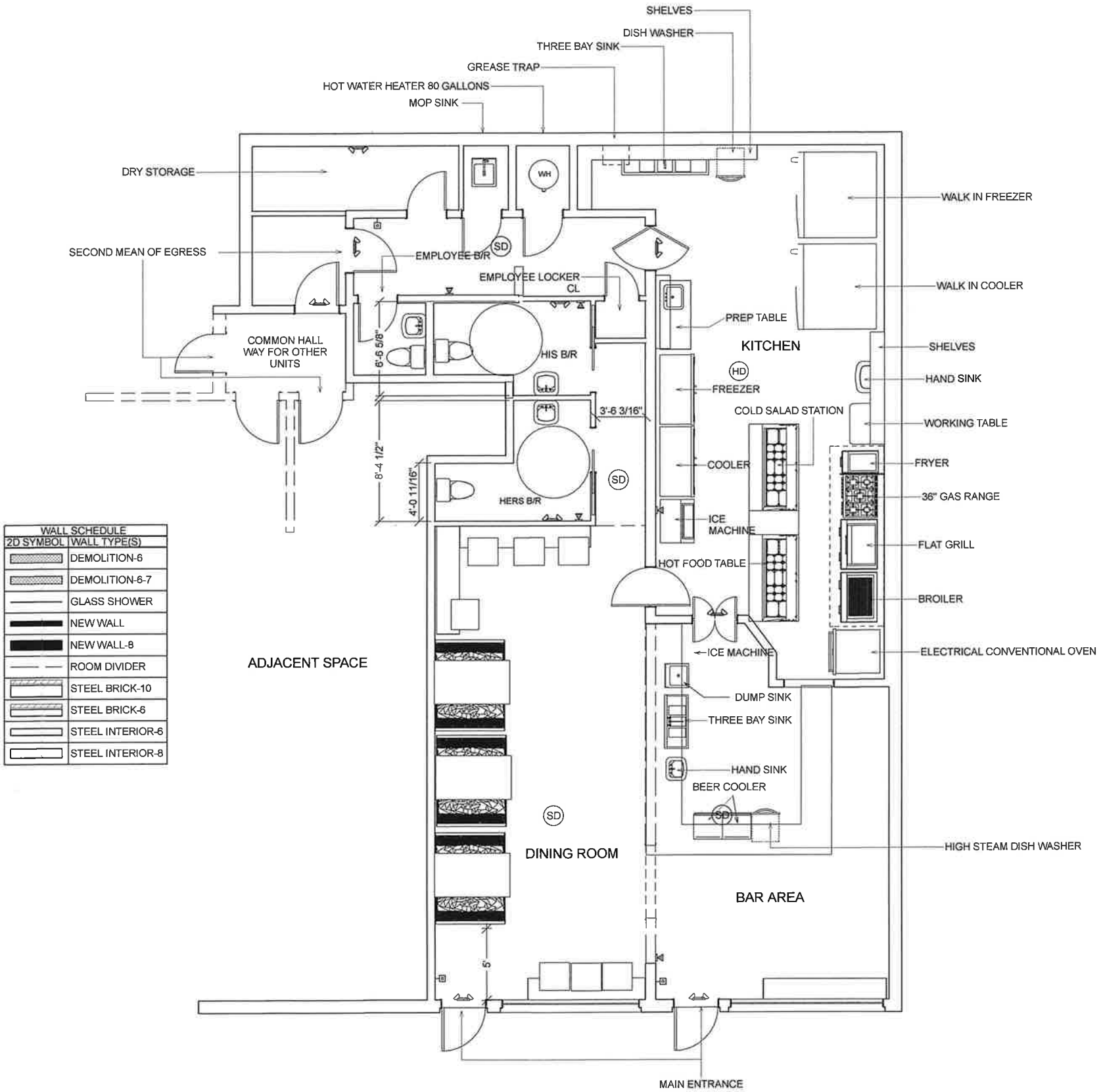
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PROJECT:  
TECATE CORONA MEXICAN  
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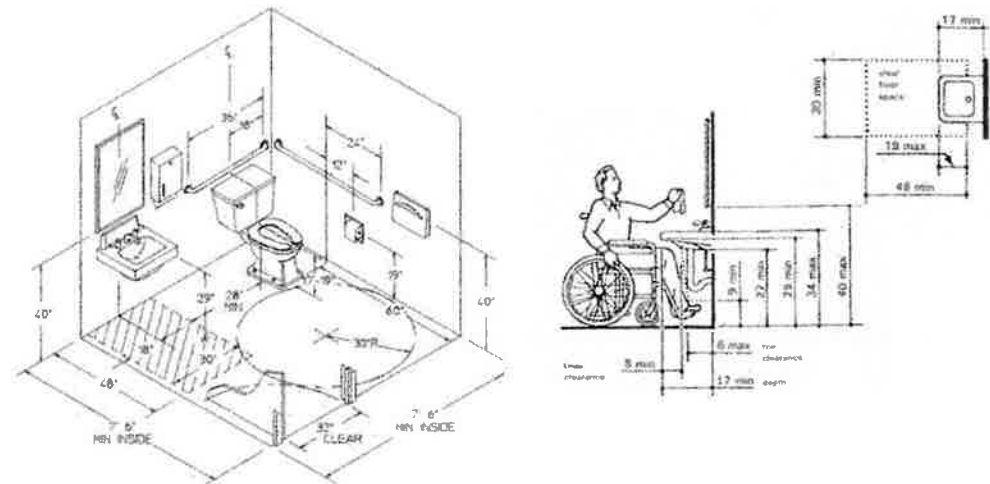
CONTRACTOR NOTE:  
The drawings are to be used in accordance with the contract documents and specifications. The contractor is responsible for obtaining all necessary permits and for ensuring that the work is completed in accordance with the applicable codes and regulations. The contractor is also responsible for ensuring that the work is completed in a timely and efficient manner.

DATE:  
3/3/2024  
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A-7  
SMOKE ALARM LAYOUT  
1/4"=1'

An Example of a Single ADA Bathroom Layout

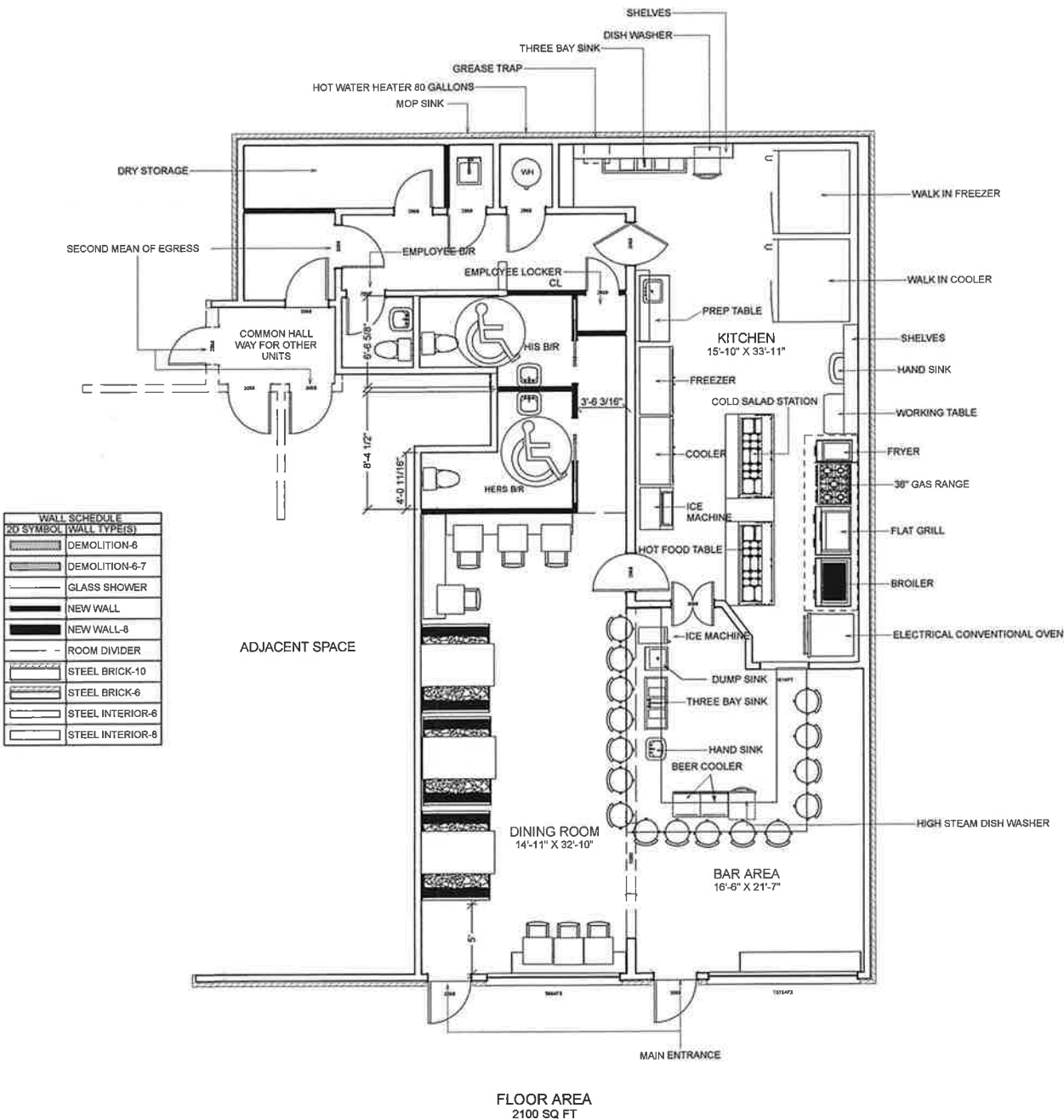


An overview of ADA bathroom layout requirements:

- For single handicapped restrooms there must be a 60” diameter for a wheel chair in the room.
- The grab bars are located off the back wall 33”-36” from the floor and are 36” width.
- Another grab bar 42” length is also used at 33”-36” from the floor off the wall on the side.
- The mirrors must be ADA approved and are tilted to help the handicap.
- The bottom of the reflective mirror starts at 40” from the floor.
- Towel dispensers are mounted at 48” at the bottom of the dispenser from the floor. Toilet tissue dispensers are at 15”-19” from the floor.
- The seat cover dispensers are also at 15”-48” from where they grab the seat cover from the dispenser.
- The hand dryers requires a 30” x 48” clear floor space and mounted minimum 15” and no higher than 48” from the floor.
- Soap dispensers should be mounted no higher than 44” above the floor.

DINING ROOM 14'7"X32'10"=478 @15 S/F PER PERSON = 31 PEOPLE  
BAR AREA 16'6"X21'7"=356 @ 15 S/F PERSON = 23 PEOPLE  
BAR 6'11"X13'11"= 96S/F @200 S/F PER PERSON =.1 PEOPLE  
KITCHEN 15'10"X33'11"=537 S/F @200 S/F PER PERSON =2.6 PEOPLE.

TOTAL OCCUPANCY IN THE SPACE 50 PEOPLE



761-389-2901

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PROJECT TITLE:  
TECATE CORONA MEXICAN RESTAURANTE & SPORT BAR  
8 ELM PARK GROVELAN, MA 01834

DRAWINGS PROVIDED BY:  
ROD RIVERA  
BIBIANA GONZALEZ VIANA  
C/S & DESIGNERS  
761-389-2901

DATE:  
3/3/2024

SCALE:  
1/4" = 1'

SHEET:  
A - 8

## Annie Schindler

---

**From:** HealthAgent  
**Sent:** Tuesday, March 12, 2024 2:32 PM  
**To:** Annie Schindler; Rebecca Oldham; Samuel Joslin; Lori Bentsen; Julie Yebba; Kevin Snow; Colin Stokes; Jeffrey Gillen; Robert Valentine; Jeffrey Dalton; Renny Carroll; bligols@comcast.net; Chris Goodwin; mdempsey444 (mdempsey444@comcast.net)  
**Subject:** RE: Zoning Board & Planning Board Applications for 6-8 Elm Park (Mexican Restaurant)

The Board of Health has not received a plan for the proposed restaurant so I can not approve a restaurant at this time.

A plan has been requested but has not been received as of this date.


*Rosemary Decie, RS*

Health Agent  
Town of Groveland  
183 Main St.  
Groveland, MA 01834  
978.556.7211

---

**From:** Annie Schindler <ASchindler@Grovelandma.com>  
**Sent:** Monday, March 11, 2024 10:04 AM  
**To:** Rebecca Oldham <ROldham@Grovelandma.com>; Samuel Joslin <sjoslin@Grovelandma.com>; HealthAgent <HealthAgent@Grovelandma.com>; Lori Bentsen <LBentsen@Grovelandma.com>; Julie Yebba <jyebba@Grovelandma.com>; Kevin Snow <ksnow@grovelandlight.com>; Colin Stokes <cstokes@Grovelandma.com>; Jeffrey Gillen <jgillen@grovelandpolice.com>; Robert Valentine <rvalentine@Grovelandma.com>; Jeffrey Dalton <JDalton@Grovelandma.com>; Renny Carroll <rcarroll@Grovelandma.com>; bligols@comcast.net; Chris Goodwin <chris\_goodwin@comcast.net>; mdempsey444 (mdempsey444@comcast.net) <mdempsey444@comcast.net>  
**Subject:** Zoning Board & Planning Board Applications for 6-8 Elm Park (Mexican Restaurant)

Morning everyone,

The Planning Board and Zoning Board have each received applications for 6-8 Elm Park. The application information for both can be found at the following link:  [Elm Park #6-8](#)

Planning Board – The Planning Board received an application for a special permit for a parking reduction at the site. If you have any comments on this application, please let me know. The scheduled meeting date for this hearing is *April 2, 2024*.

Zoning Board – The Zoning Board received an application for a special permit for the use of the property for a restaurant. If you have any comments on this application, please let me know. The scheduled meeting date for this hearing is *April 3, 2024*.



For specific information on the criteria for a special permit that both Boards will be evaluating these applications against, please look to our bylaw [HERE](#), and additionally [HERE](#) for the parking reduction request.

Best,

Annie Schindler  
Town Planner & Conservation Agent  
Town of Groveland | 978.556.7214

*The Secretary of the Commonwealth's Office has determined that most e-mails to and from municipal offices and officials are public records. Consequently, confidentiality should not be expected.*

## Annie Schindler

---

**From:** Robert Valentine  
**Sent:** Monday, March 11, 2024 1:06 PM  
**To:** Jeffrey Gillen; Annie Schindler; Rebecca Oldham; Samuel Joslin; HealthAgent; Lori Bentsen; Julie Yebba; Kevin Snow; Colin Stokes; Jeffrey Dalton; Renny Carroll; bligols@comcast.net; Chris Goodwin; mdempsey444 (mdempsey444@comcast.net)  
**Subject:** RE: Zoning Board & Planning Board Applications for 6-8 Elm Park (Mexican Restaurant)

Afternoon,

I also have concerns regarding parking, the prior restaurant, when busy, had parking along the one-way section of Elm Park blocking access to the businesses and homes on that side of the road. If an emergency were to occur accessibility for emergency vehicles is greatly hindered. Would like to see what the measures are going to be to mitigate the potential impact on parking availability in the area.

Thank You

Chief Valentine

---

**From:** Jeffrey Gillen <jgillen@grovelandpolice.com>  
**Sent:** Monday, March 11, 2024 10:36 AM  
**To:** Annie Schindler <ASchindler@Grovelandma.com>; Rebecca Oldham <ROldham@Grovelandma.com>; Samuel Joslin <sjoslin@Grovelandma.com>; HealthAgent <HealthAgent@Grovelandma.com>; Lori Bentsen <LBentsen@Grovelandma.com>; Julie Yebba <jyebba@Grovelandma.com>; Kevin Snow <ksnow@grovelandlight.com>; Colin Stokes <cstokes@Grovelandma.com>; Robert Valentine <rvalentine@Grovelandma.com>; Jeffrey Dalton <JDalton@Grovelandma.com>; Renny Carroll <rcarroll@Grovelandma.com>; bligols@comcast.net; Chris Goodwin <chris\_goodwin@comcast.net>; mdempsey444 (mdempsey444@comcast.net) <mdempsey444@comcast.net>  
**Subject:** RE: Zoning Board & Planning Board Applications for 6-8 Elm Park (Mexican Restaurant)

Good morning,

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*Jeffrey T. Gillen*  
Chief of Police  
Notary Public  
FBI NA Session #250

Groveland Police Department  
181 Main Street  
Groveland, MA 01834  
Phone: (978) 521-1212 Fax: (978) 374-7676

---


**From:** Annie Schindler <[ASchindler@Grovelandma.com](mailto:ASchindler@Grovelandma.com)>

**Sent:** Monday, March 11, 2024 10:04 AM

**To:** Rebecca Oldham <[ROldham@Grovelandma.com](mailto:ROldham@Grovelandma.com)>; Samuel Joslin <[sjoslin@Grovelandma.com](mailto:sjoslin@Grovelandma.com)>; HealthAgent <[HealthAgent@Grovelandma.com](mailto:HealthAgent@Grovelandma.com)>; Lori Bentsen <[LBentsen@Grovelandma.com](mailto:LBentsen@Grovelandma.com)>; Julie Yebba <[jyebba@Grovelandma.com](mailto:jyebba@Grovelandma.com)>; Kevin Snow <[ksnow@grovelandlight.com](mailto:ksnow@grovelandlight.com)>; Colin Stokes <[cstokes@Grovelandma.com](mailto:cstokes@Grovelandma.com)>; Jeffrey Gillen <[jgillen@grovelandpolice.com](mailto:jgillen@grovelandpolice.com)>; Robert Valentine <[rvalentine@Grovelandma.com](mailto:rvalentine@Grovelandma.com)>; Jeffrey Dalton <[JDalton@Grovelandma.com](mailto:JDalton@Grovelandma.com)>; Renny Carroll <[rcarroll@Grovelandma.com](mailto:rcarroll@Grovelandma.com)>; [bligols@comcast.net](mailto:bligols@comcast.net); Chris Goodwin <[chris\\_goodwin@comcast.net](mailto:chris_goodwin@comcast.net)>; mdempsey444 ([mdempsey444@comcast.net](mailto:mdempsey444@comcast.net)) <[mdempsey444@comcast.net](mailto:mdempsey444@comcast.net)>

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Best,

Annie Schindler  
Town Planner & Conservation Agent  
Town of Groveland | 978.556.7214

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## Annie Schindler

---

**From:** Kevin Snow <ksnow@grovelandlight.com>  
**Sent:** Monday, March 11, 2024 1:15 PM  
**To:** Annie Schindler; Rebecca Oldham; Samuel Joslin; HealthAgent; Lori Bentsen; Julie Yebba; Colin Stokes; Jeffrey Gillen; Robert Valentine; Jeffrey Dalton; Renny Carroll; bligols@comcast.net; Chris Goodwin; mdempsey444 (mdempsey444@comcast.net)  
**Subject:** RE: Zoning Board & Planning Board Applications for 6-8 Elm Park (Mexican Restaurant)

My only commentary is that the applicant (and the building owner) be reminded that access to the electrical/metering room should not be blocked. We have in the past needed to access the room by entering the establishment rather than by the back door (at Family Affair's driveway).

Otherwise I wish the best of luck to them!

Thanks,

-Kevin



### Kevin Snow

General Manager/Lineman 1<sup>st</sup> Class  
Groveland Municipal Light Department

**Phone:** 978-372-1671

**Mobile:** 978-304-2078

**Email:** [ksnow@grovelandlight.com](mailto:ksnow@grovelandlight.com)

944 Salem Street

Suite A

Groveland, MA 01834

[www.grovelandlight.com](http://www.grovelandlight.com)

---

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**Sent:** Monday, March 11, 2024 10:04 AM  
**To:** Rebecca Oldham <ROldham@Grovelandma.com>; Samuel Joslin <sjoslin@Grovelandma.com>; HealthAgent <HealthAgent@Grovelandma.com>; Lori Bentsen <LBentsen@Grovelandma.com>; Julie Yebba <jyebba@Grovelandma.com>; Kevin Snow <ksnow@grovelandlight.com>; Colin Stokes <cstokes@Grovelandma.com>; Jeffrey Gillen <jgillen@grovelandpolice.com>; Robert Valentine <rvalentine@Grovelandma.com>; Jeffrey Dalton <JDalton@Grovelandma.com>; Renny Carroll <rcarroll@Grovelandma.com>; bligols@comcast.net; Chris Goodwin <chris\_goodwin@comcast.net>; mdempsey444 (mdempsey444@comcast.net) <mdempsey444@comcast.net>  
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## Annie Schindler

---

**From:** Michael Dempsey <mdempsey444@comcast.net>  
**Sent:** Monday, March 11, 2024 3:37 PM  
**To:** Annie Schindler; Rebecca Oldham; Samuel Joslin; HealthAgent; Lori Bentsen; Julie Yebba; 'Kevin Snow'; Colin Stokes; Jeffrey Gillen; Robert Valentine; Jeffrey Dalton; Renny Carroll; bligols@comcast.net; 'Chris Goodwin'  
**Subject:** RE: Zoning Board & Planning Board Applications for 6-8 Elm Park (Mexican Restaurant)

Hi Annie,

As a member of the former Elm Square Committee weighing in on parking, there were many potential solutions to parking issues in the square we suggested.

There is the nearby municipal lot where employees could be required to park.

There are also privately owned lots in the square that the restaurant could negotiate with the owners for space especially in the evenings. Since this space was already a restaurant, I think we should encourage new businesses that want to come to Groveland and not make it overly burdensome to get permits. I hope we can find a way to get them here.

Thanks,  
Mike

-----Original Message-----

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link: [?Folder icon] Elm Park

#6-8<[https://grovelandma1-my.sharepoint.com/:f:/g/personal/aschindler\\_grovelandma\\_com/Eim\\_iiBzFcJLsekvT2O6E4B7Gp6haq2nIKBqiJ1S8BOPg?e=0MJwcv](https://grovelandma1-my.sharepoint.com/:f:/g/personal/aschindler_grovelandma_com/Eim_iiBzFcJLsekvT2O6E4B7Gp6haq2nIKBqiJ1S8BOPg?e=0MJwcv)>

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## Annie Schindler

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**From:** Jeffrey Gillen  
**Sent:** Monday, March 11, 2024 10:36 AM  
**To:** Annie Schindler; Rebecca Oldham; Samuel Joslin; HealthAgent; Lori Bentsen; Julie Yebba; Kevin Snow; Colin Stokes; Robert Valentine; Jeffrey Dalton; Renny Carroll; bligols@comcast.net; Chris Goodwin; mdempsey444 (mdempsey444@comcast.net)  
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## D. Regulations and Parking Issues Potentially Inhibiting Small Business Location in Elm Square

### Regulatory Concerns

We obtained additional input from interviews and conversations with Groveland Planning and Building Inspection staff as well as real estate and business representatives. Our findings point to Groveland's current zoning regulations and approval process as a likely deterrent for business location in Elm Square.

According to our interviewees, the regulations are convoluted and contradictory across sections. This often results in ambiguity that leads to requiring almost all new businesses to go through site plan review (which in other communities would only be triggered by increasing the building size).

We heard from several sources that the time to get through the approval process for establishing a new business location in Groveland is significantly longer than other communities. The typical approval process in Groveland takes about 3 months. In contrast, a business can go across the bridge and settle into a location in the Market Basket plaza in a matter of a few days.

A couple of local Realtors told us that there had been several potential tenants interested in locating in Elm Square in the last year, but they had become discouraged by the process necessary to get town approvals. Town staff members concurred that businesses have come in and been discouraged by just talking about the application process.

There is a need to review current zoning regulations and consider revising the regulations and streamlining the approval process.

### Parking Supply and Issues

Parking issues also appear to be a significant inhibiting factor for business location in Elm Square. The impediments are two-fold:

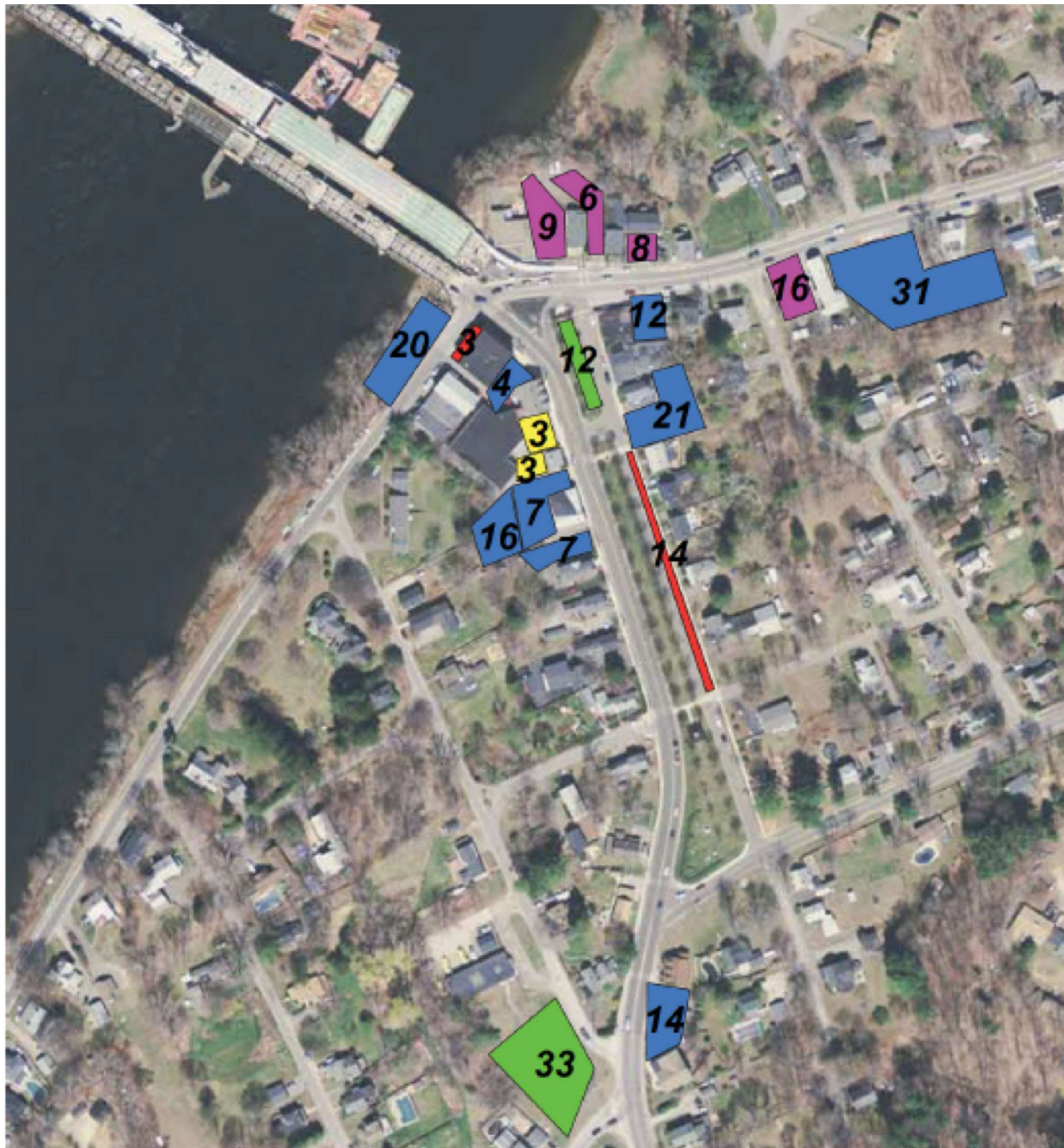
- Meeting the actual need for customer and employee parking, and
- Meeting the town's off-street parking requirements or obtaining town approval for reduced parking.

There are 29 public parking spaces in the core of the Elm Street Business District (including on-street and off-street) and a municipal parking lot outside the core with an additional 33 spaces. This municipal lot is most likely too far away for every-day customer parking for businesses near the main intersection, however, it could provide convenient parking for potential events at the gazebo/on the town green (e.g., farmers market).

There are 157 private parking spaces associated with specific properties potentially available for customers and employees. (Residential tenants might be currently using some of these spaces reducing availability to some degree.) These parking spaces are typically not striped and lack signage with regard to who may use the spaces.

A parking inventory is presented on the following page.

# Parking Inventory – Elm Square



Source: Town of Groveland

**Parking Utilization** – While 44% of the community survey respondents said that parking difficulty sometimes deter them from visiting Elm Square businesses, a preliminary study performed by town staff indicated that a large portion of the existing parking spaces are under-utilized. This might be explained by parking spaces not being available at specific locations where customers that need them at busy times (e.g., at the post office) while other parking spaces dedicated to certain businesses/properties remain largely under-used.

**Off-street Parking Requirements** - Below is an example of off-street parking requirements for various types of commercial uses. Given the small lots in Elm Square, it might be very difficult for potential new businesses to meet these requirements.

| <u>Use</u>                            | <u>Off-Street Parking Spaces Required</u>  |
|---------------------------------------|--|
| Retail                                | 1 per 250 sq. ft. of floor area            |
| Restaurant                            | 1 space per 4 seats                        |
| General Business, Professional Office | 1 space per 300 sq. ft. of floor area      |
| Medical/Dental Office                 | 4.3 spaces per 1,000 sq. ft. of floor area |

**Shared Parking Opportunity** – It might be possible for new businesses that cannot meet off-street parking requirements to enter into an agreement with nearby property owners to share parking. Existing conditions that make this difficult include:

- Lack of efficient parking space delineation and signage in private lots, and
- Town regulations require that an applicant proposing the use of shared parking to meet off-street parking requirements submit a formal parking utilization study showing that the existing parking spaces are under-utilized.

# ELM SQUARE PARKING PLAN

Board of Selectmen Meeting  
December 2020





# AGENDA



Study Goals & Process  
Existing Conditions & Findings  
Stakeholder Sessions  
Draft Strategies





## Study Goals & Process




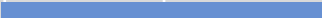

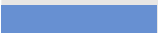


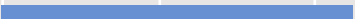

# STUDY GOALS AND PROCESS

1. Document existing **parking supply** and **daily demand**
2. Improve **parking system** for residents, employees, customers, and visitors
3. Identify and recommend parking supply **efficiencies/opportunities** to improve parking in areas of higher demand
4. Develop flexible **parking standards** to support Elm Square development





# STUDY SCHEDULE

| Tasks   | Jul   | Aug   | Sept | Oct   | Nov   | Dec |
|---|---|---|------|---|---|-----|
| TASK 1<br><b>Project Kick-off/ Data Collection</b>      |  |   |      |   |   |     |
| TASK 2<br><b>Existing Conditions</b>                    |  |   |      |   |   |     |
| TASK 3<br><b>Outreach</b>                               |  |  |      |   |    |     |
| TASK 4<br><b>Parking Activity Evaluation</b>            |   |  |      |   |   |     |
| TASK 5<br><b>Parking Management Strategies</b>          |   |   |      |  |   |     |
| TASK 6<br><b>Draft Recommendations &amp; Final Plan</b> |   |   |      |   |  |     |



## Existing Conditions & Findings

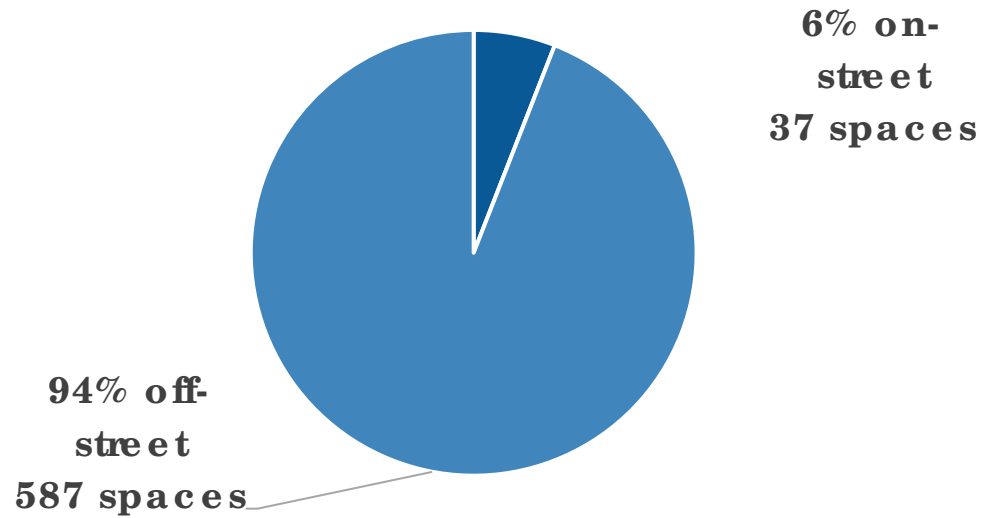


# STUDY AREA





# EXISTING PARKING SUPPLY

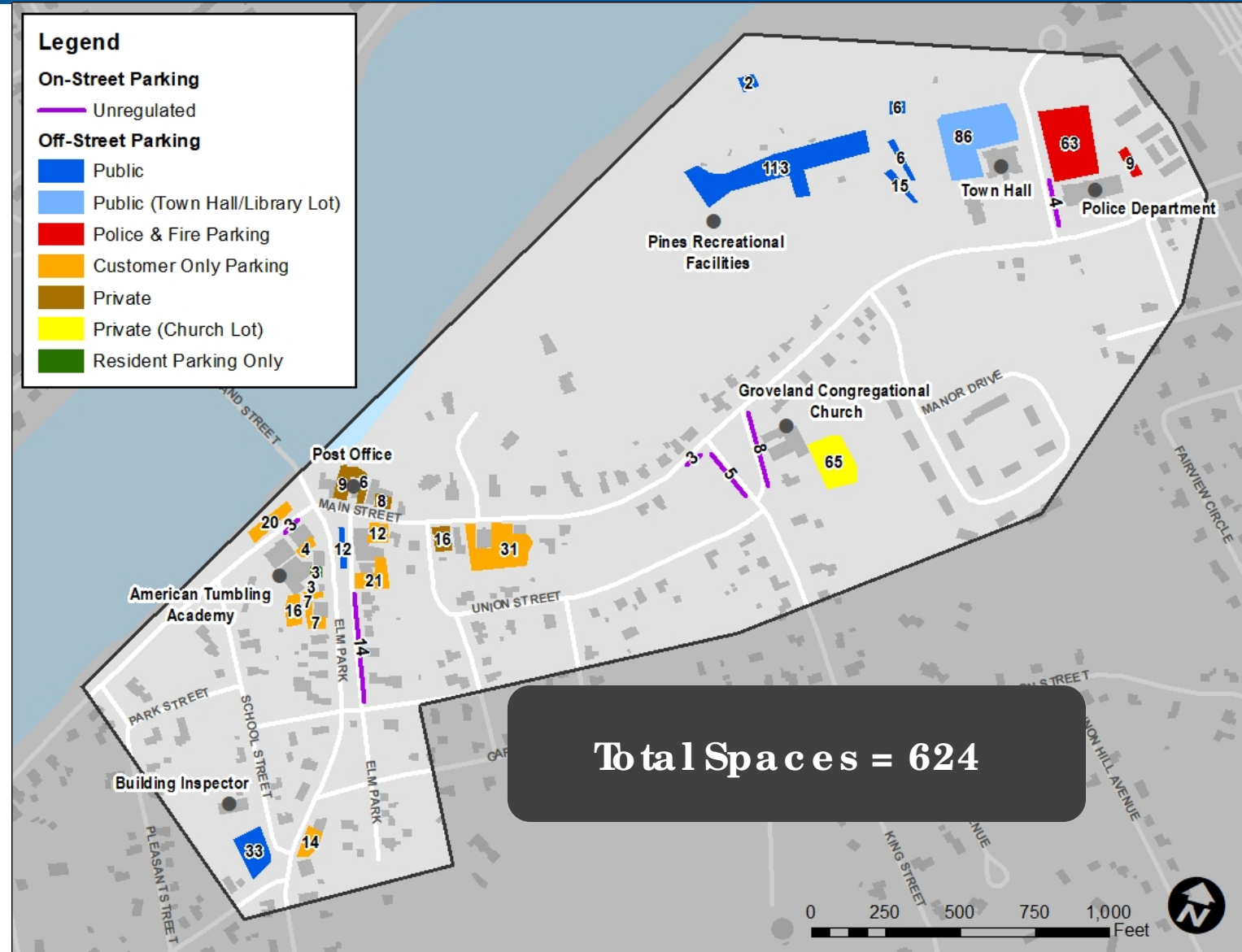


Public Parking  
382 spaces

Publicly Accessible  
505 spaces

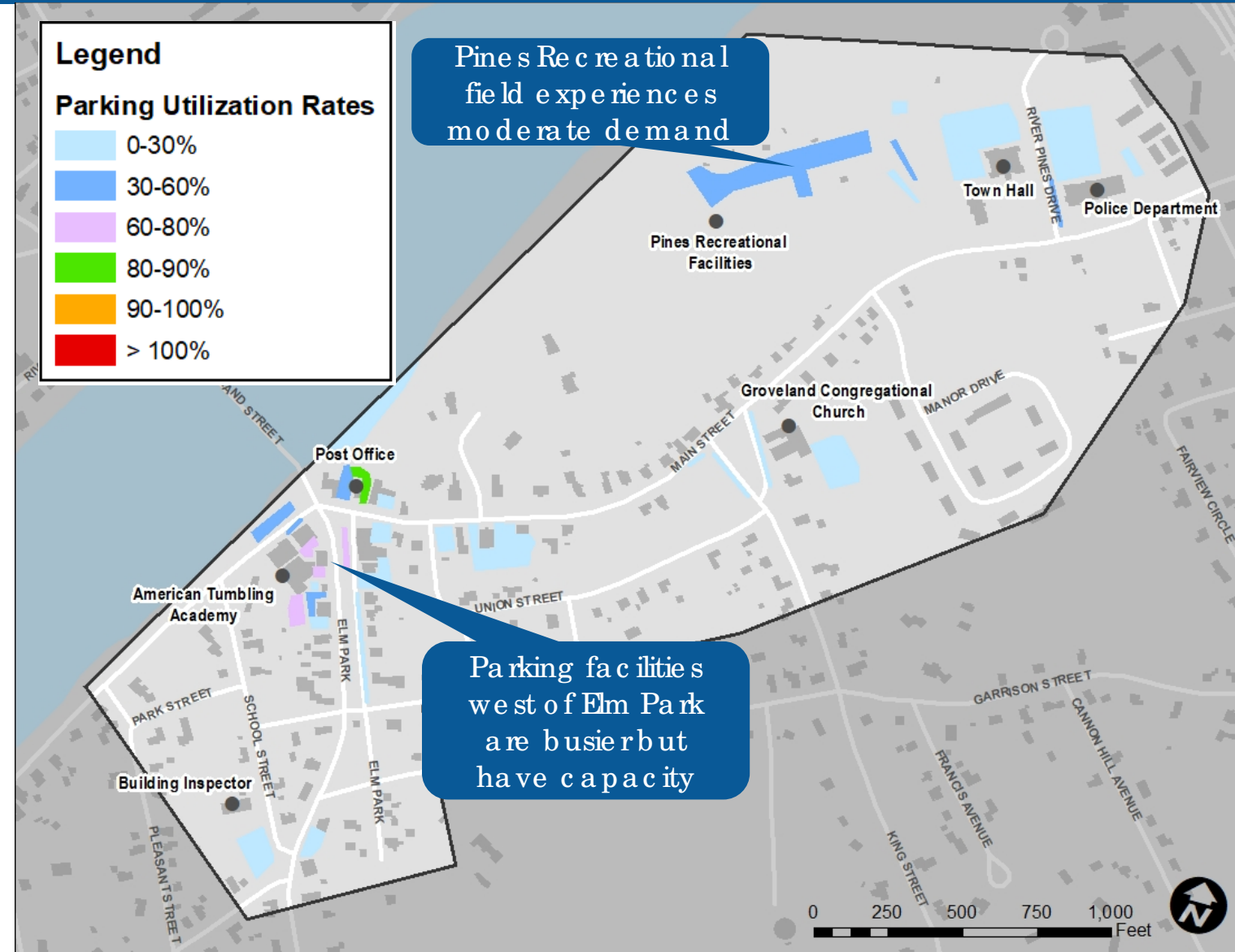
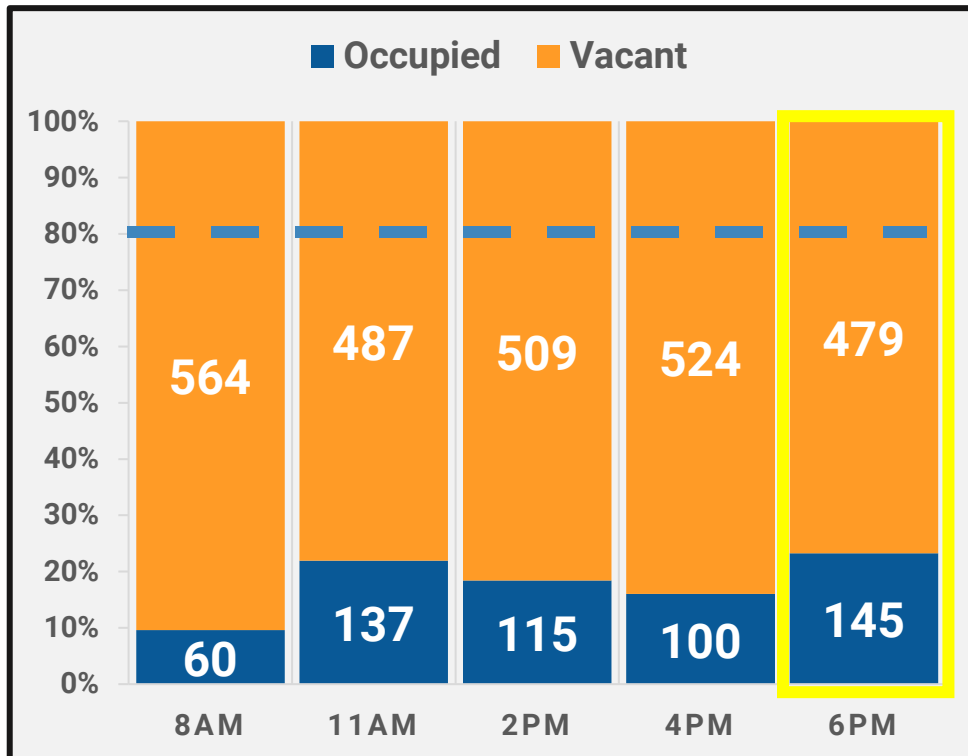
Private Parking  
242 spaces

Restricted  
119 spaces



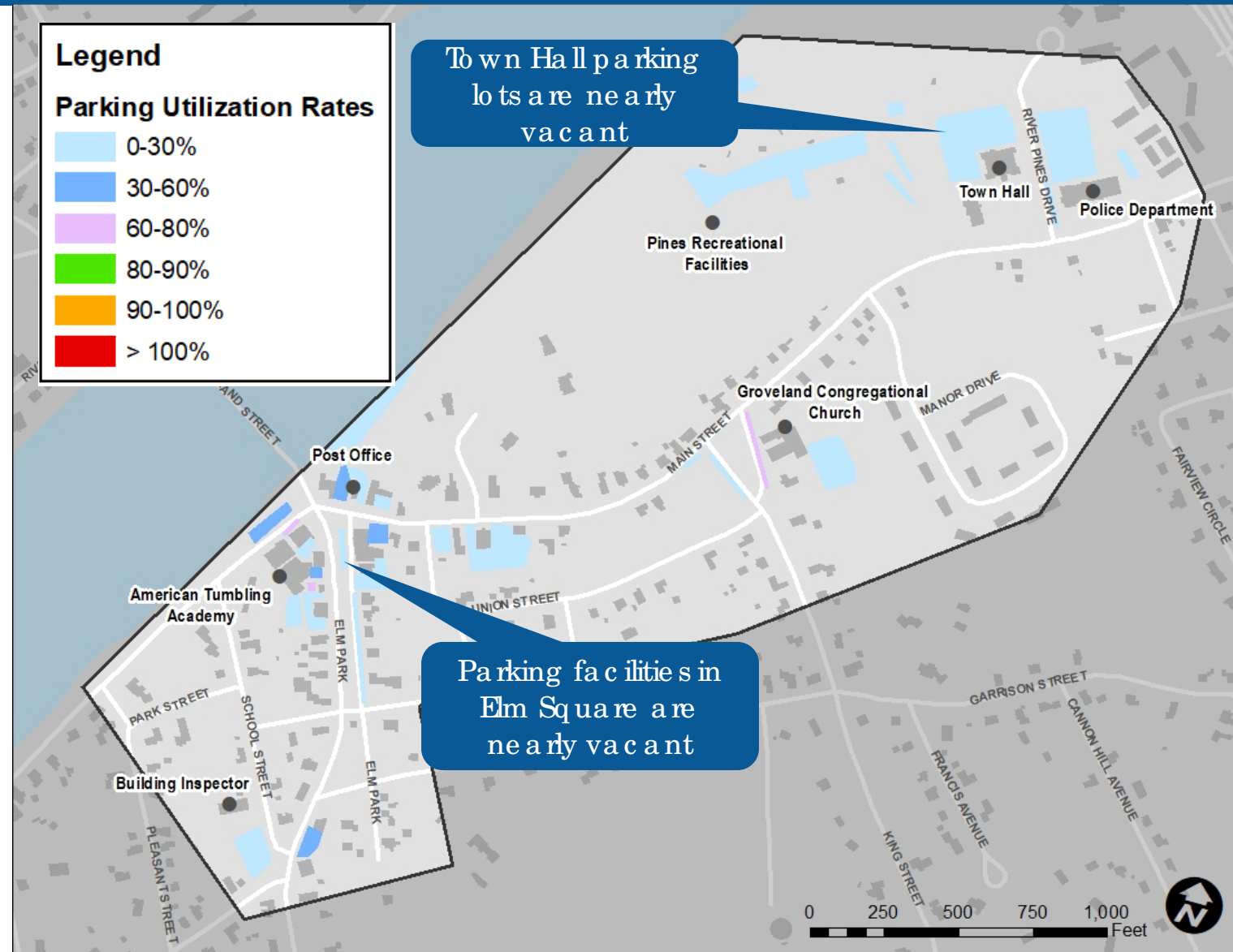
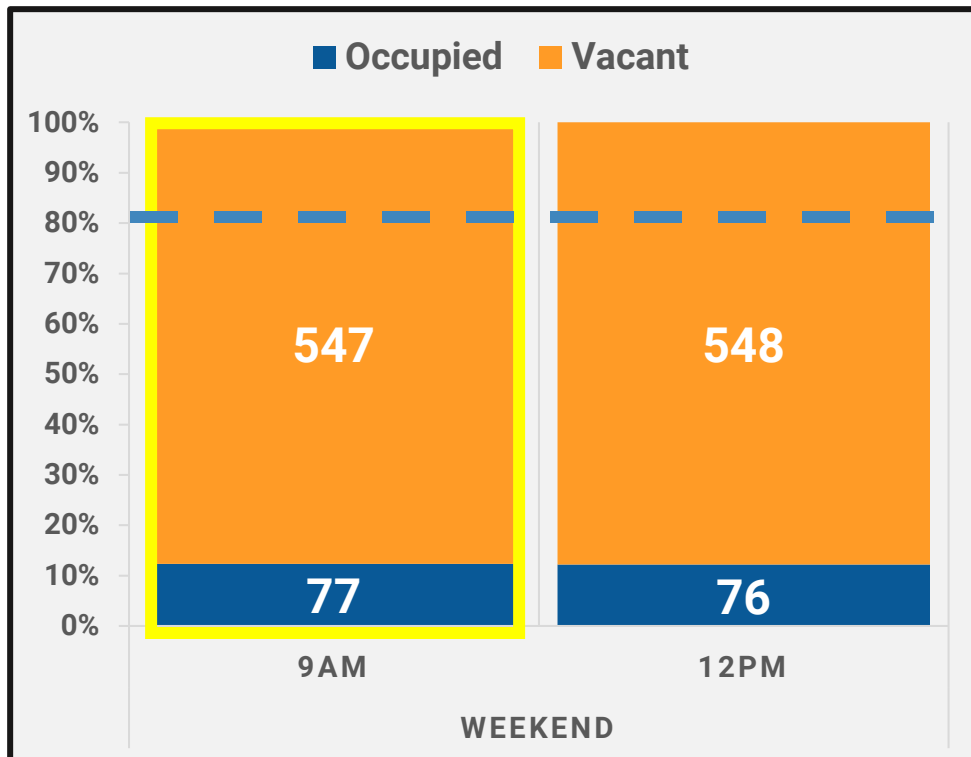
# EXISTING PARKING DEMAND

- Weekday peak utilization
  - 6PM: 23%
- Demand is concentrated in Elm Square



# EXISTING PARKING DEMAND

- Weekend peak utilization
  - Saturday, 9AM: 12%
- Elm Square experiences low parking demand



# PUBLIC VS PRIVATE PARKING DEMAND

- During the week, public parking is more utilized than private parking
- Private parking peaks during lunch hour

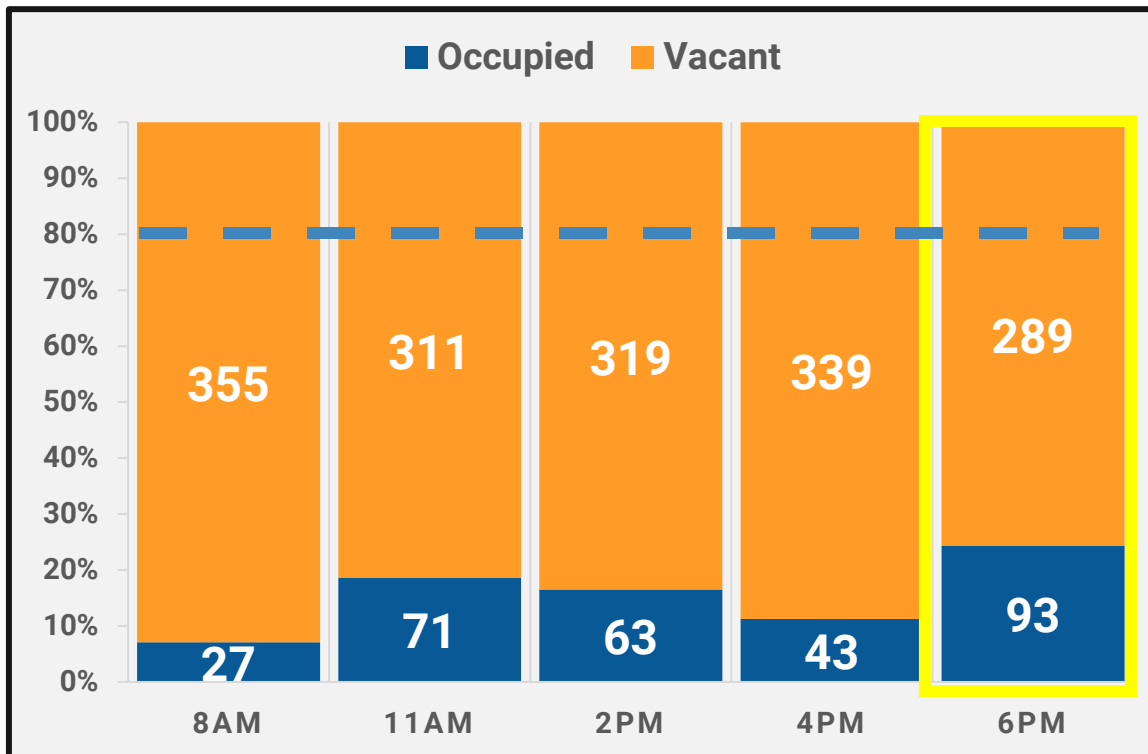
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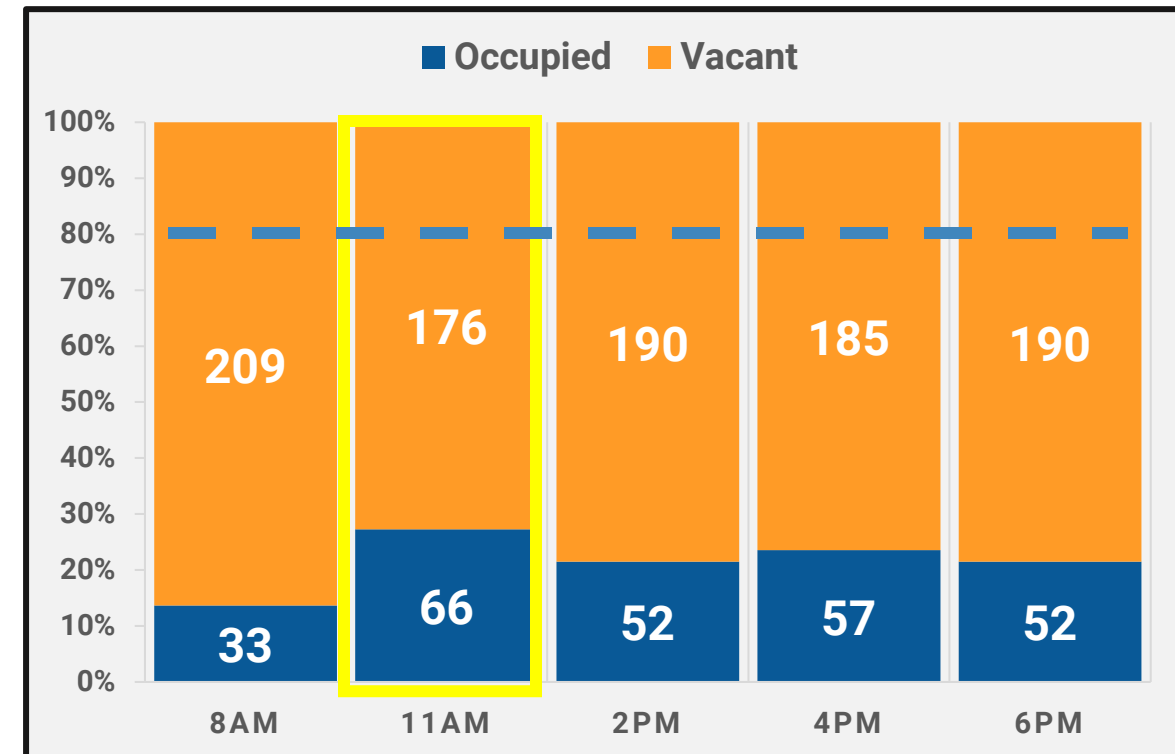
Private Parking

242 spaces

## WEEKDAY PUBLIC PARKING (ALL)

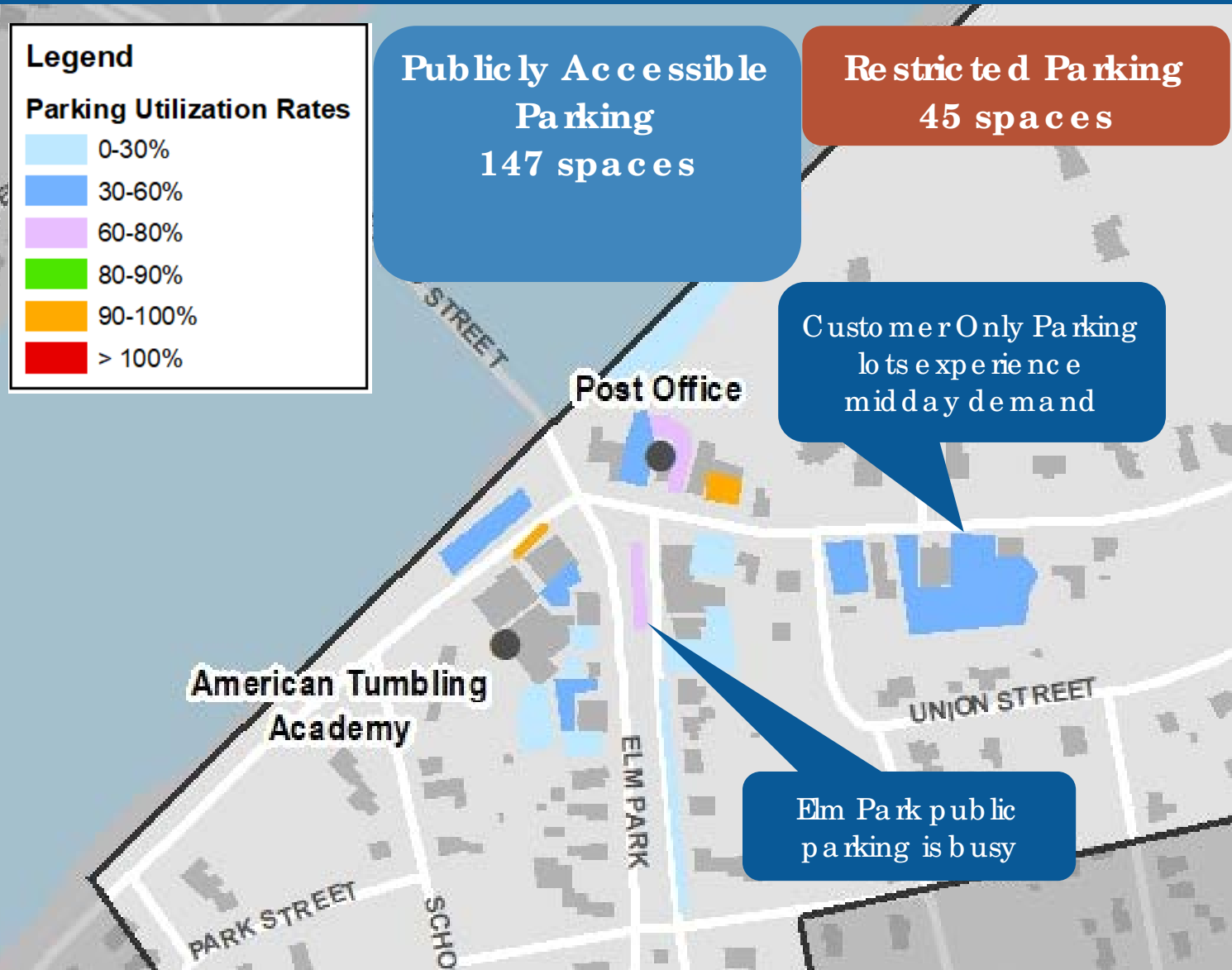
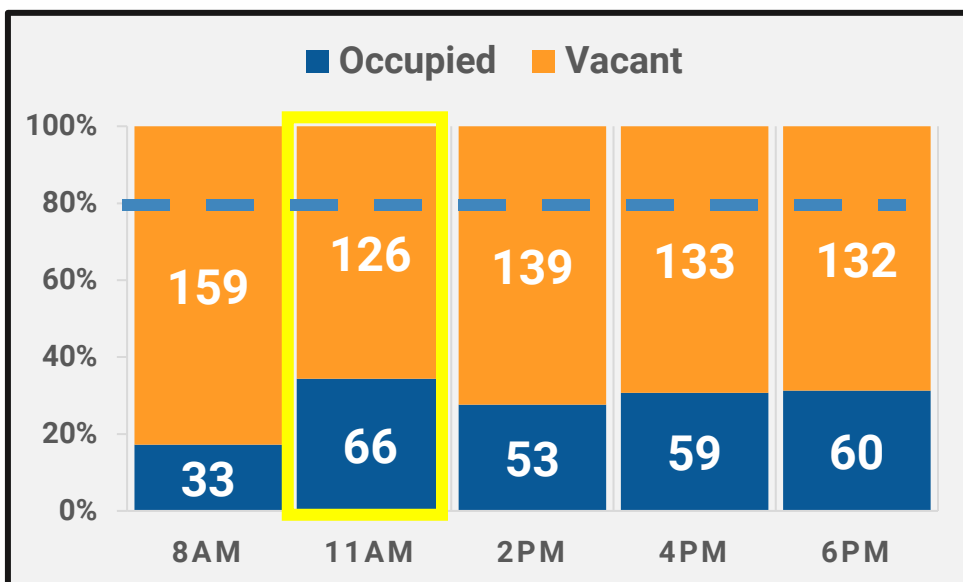


## WEEKDAY PRIVATE PARKING (ALL)



# PARKING DEMAND IN ELM SQUARE

- Total = 192 spaces
- Peak weekday demand
  - 11AM = 34%
- 12 spaces on Elm Park experience higher demand





# MULTIMODAL CONDITIONS



## **Parking Inventory & Utilization Key Findings**

- 1. Most on-street parking and public off-street parking do not have regulations or signage**
- 2. Most off-street parking facilities in the core of Elm Square are private and for customer-use only or restricted**
- 3. The core of Elm Square does not experience high utilization during the week or weekend (parking is available during all peak periods)**
- 4. Publicly-available parking is plentiful but not clear, contributing to perception of low availability**



Stakeholder  
Discussions





## Stakeholder Discussions

- Elm Square needs pedestrian-friendly improvements to increase visitor traffic
- Informal shared parking occurs in the core of Elm Square, but visitors are not encouraged
- Current parking facilities do not adequately connect patrons to storefronts
- Limited opportunities for re-use of storefronts or in-fill development due to the lack of dedicated parking

### *Who did we meet with?*

- Elm Square Committee
- Town Staff
- Elm Square business & landowners



Draft Strategies



## Draft Strategies

- 1. Designate publicly-available off-street parking with signage**
- 2. Add on-street parking on key Elm Square corridors**
- 3. Create a more walkable Elm Square**
- 4. Create a shared parking program & encourage shared parking in Elm Square**
- 5. Reconfigure existing parking lots to expand shared supply**

### Study Goals

- Document existing parking supply and daily demand
- Improve parking system for residents, employees, customers, and visitors
- Identify and recommend parking supply efficiencies/opportunities to improve parking in areas of higher demand
- Develop flexible parking standards to support Elm Square development

# 1. Designate off-street parking with signage and wayfinding

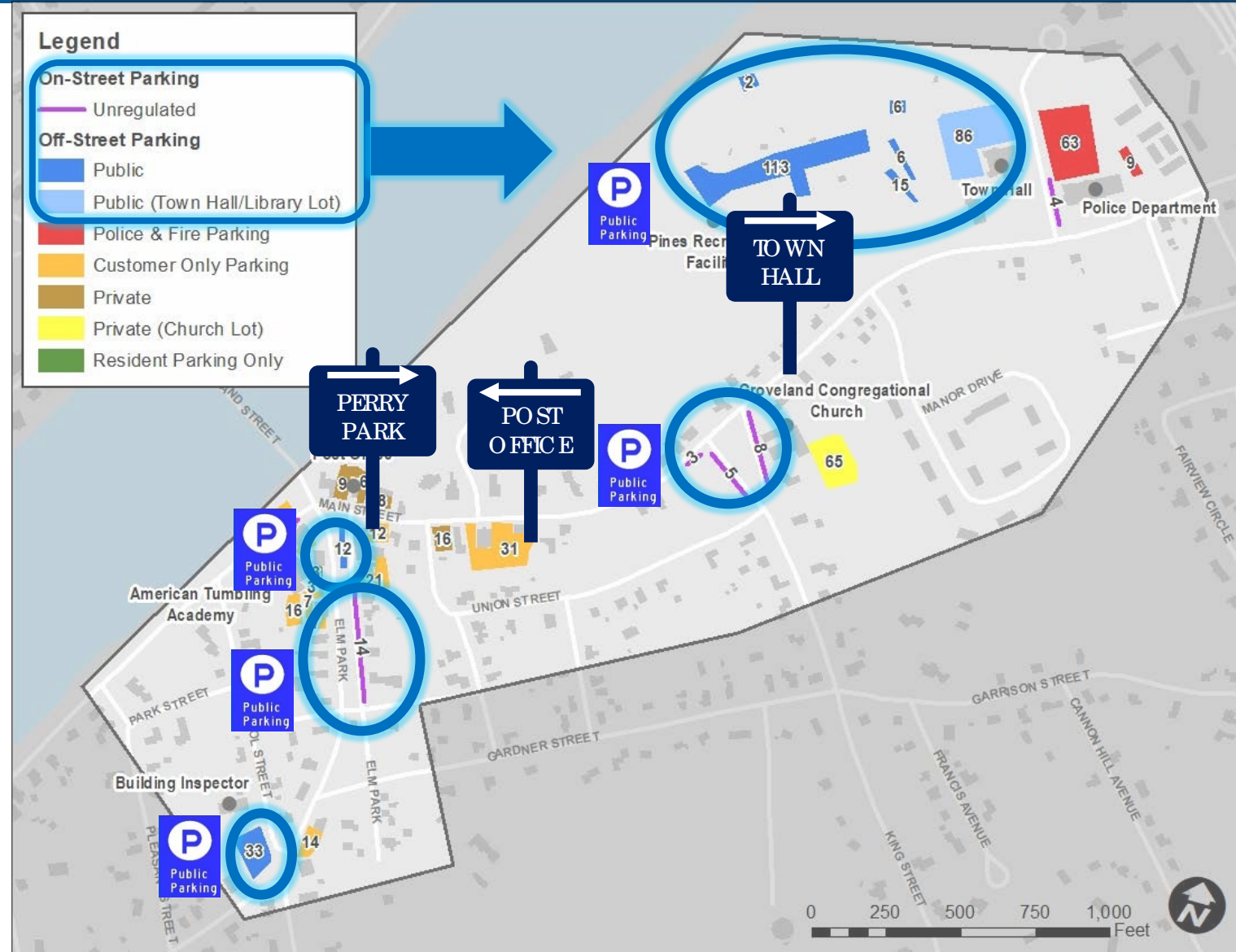
- Add wayfinding signage to off-street lots & key Elm Square “entrance” areas
- Use parking and gateway wayfinding signage to:
  - Intercept vehicle traffic
  - Direct people to other locations downtown
  - Provide estimated walk times
  - Help customers return to their vehicles
  - Help people on bikes find their way to / through Elm Square destinations
- Sign shared private lots as “Elm Square Parking”





# 1. Designate off-street parking with signage and wayfinding

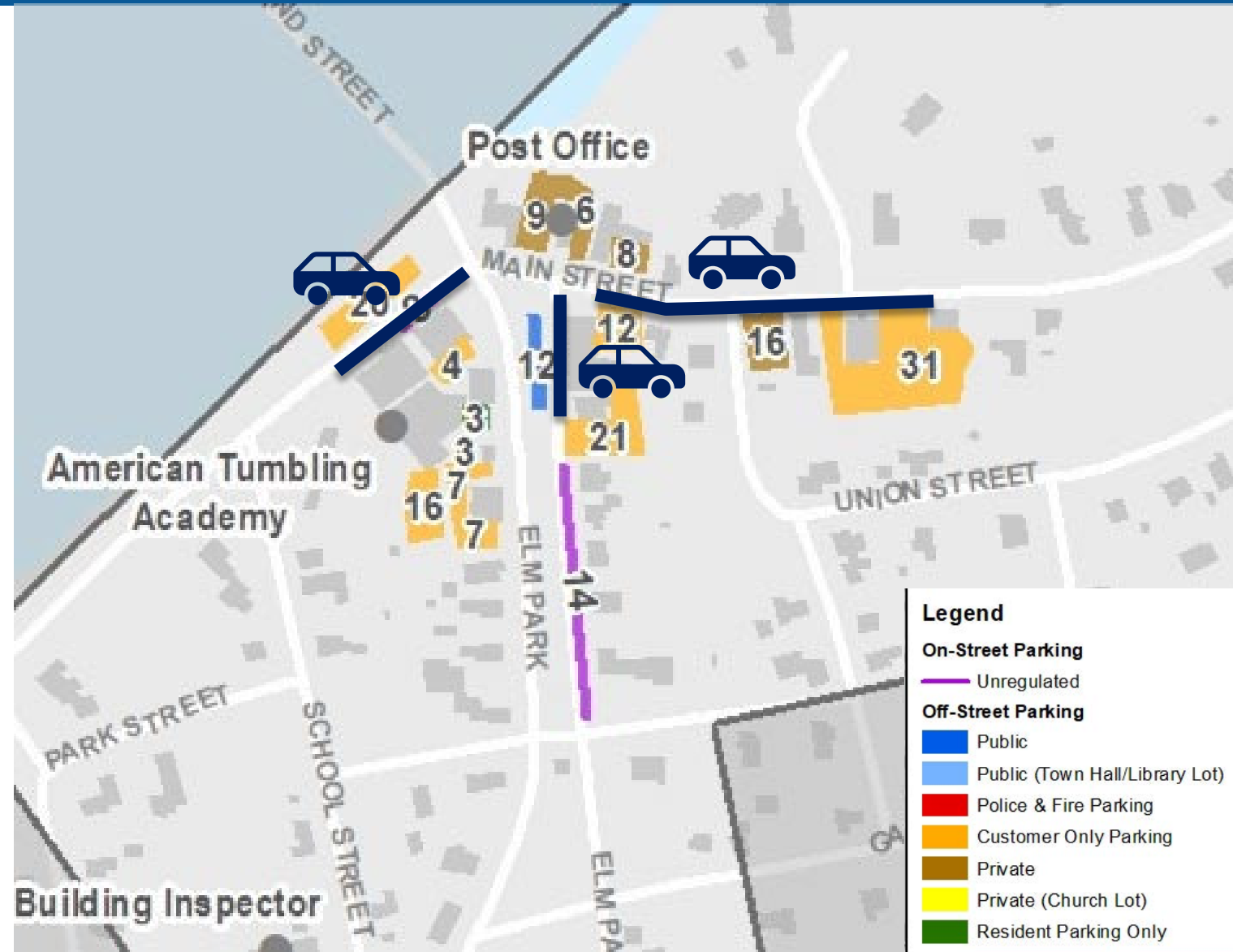
- Create a wayfinding signage plan
  - Designate specific locations to place gateway & parking signs
  - Direct visitors to key destinations





## 2. Add on-street parking on key Elm Square corridors

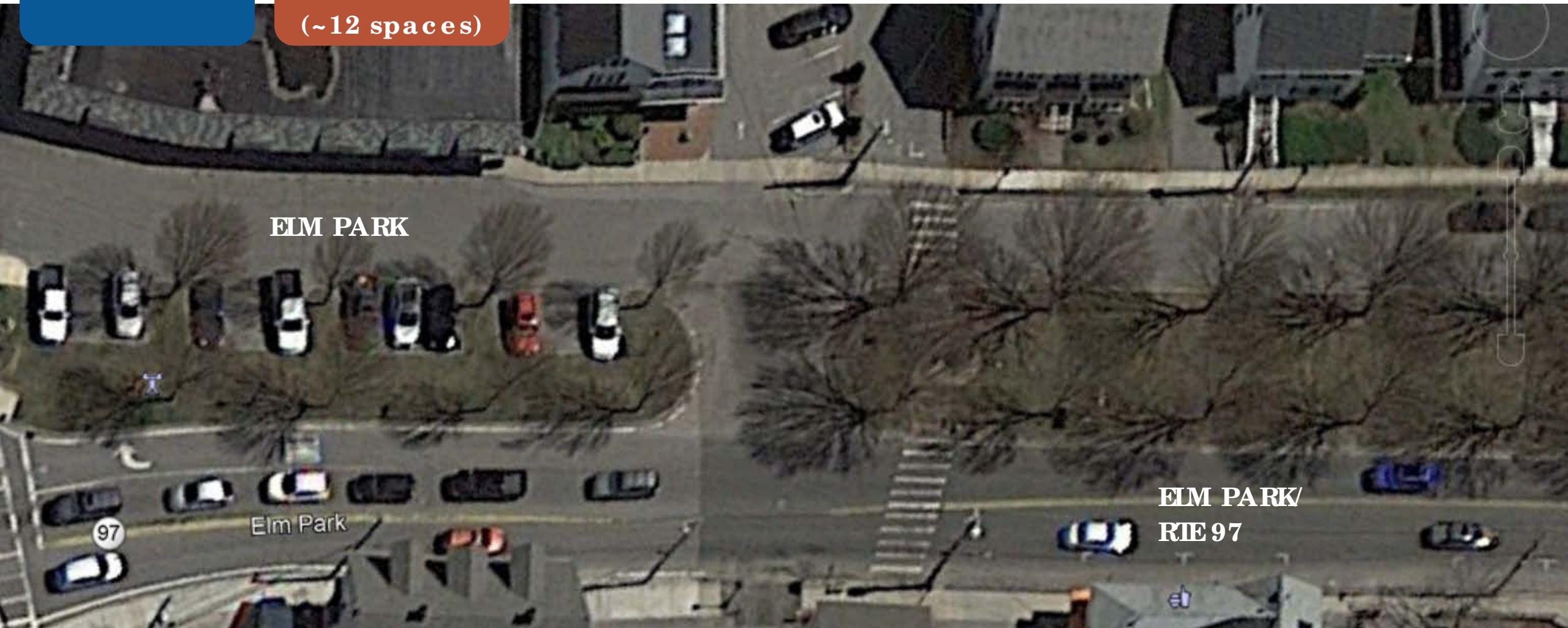
- Slow down traffic and encourage visitation
- Install on-street parking at:
  - Elm Park
  - South Main Street
  - Route 113



## 2. Add on-street parking on key Elm Square corridors

Elm Park

Existing  
Conditions  
(~12 spaces)





## 2. Add on-street parking on key Elm Square corridors

Elm Park

Proposed Design  
(~26 spaces) +14

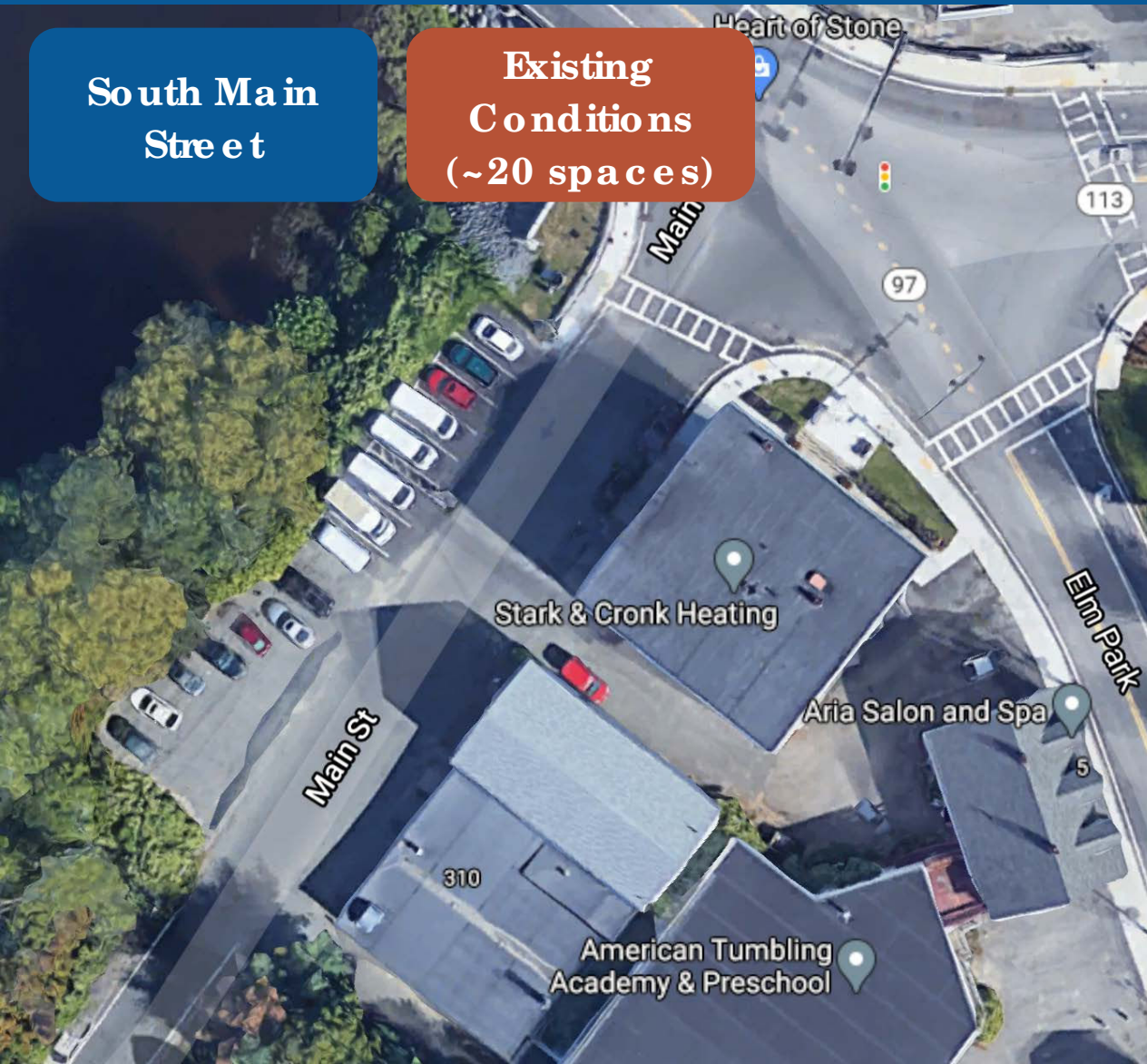




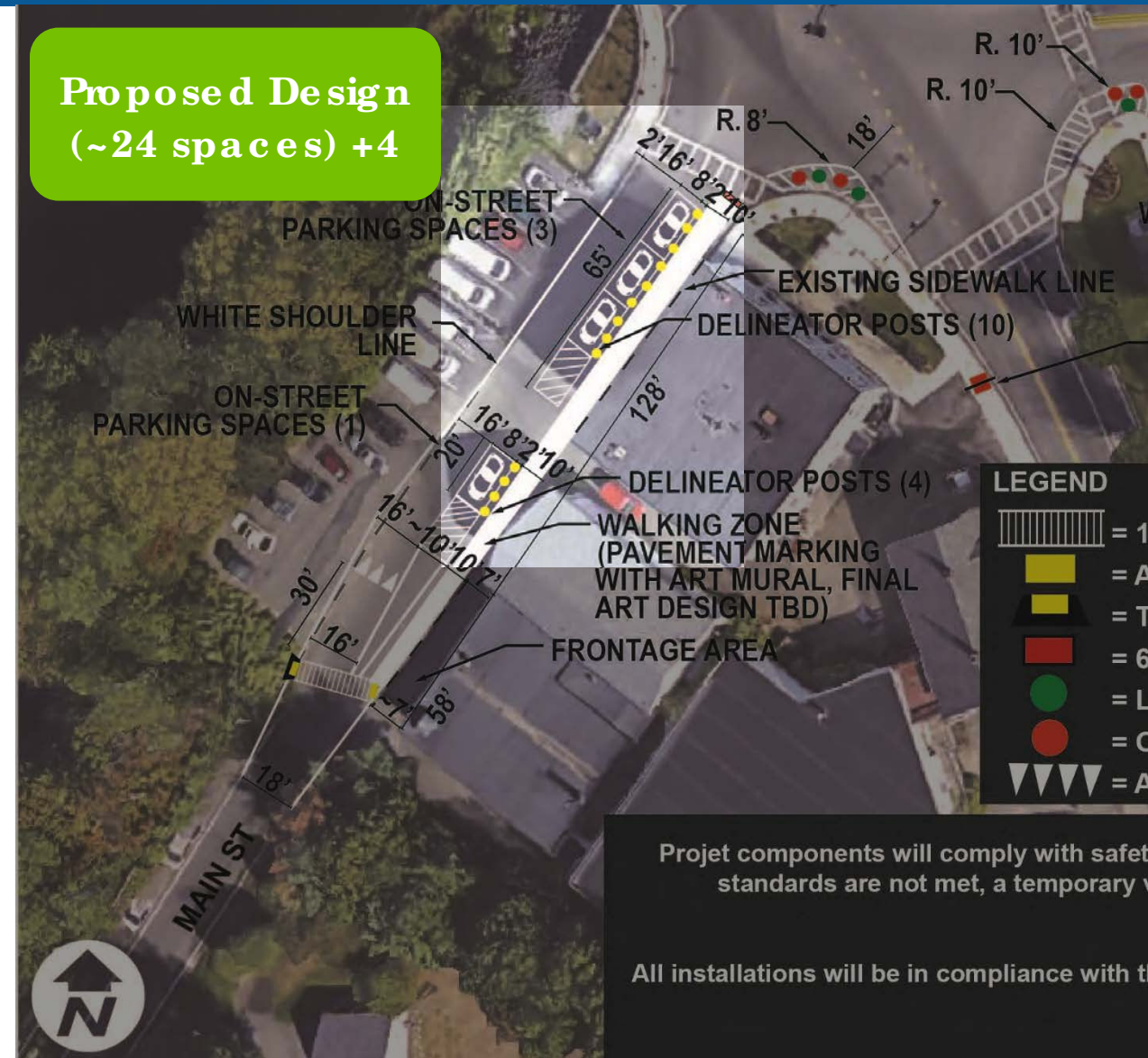
## 2. Add on-street parking on key Elm Square corridors

South Main Street

Existing Conditions  
(~20 spaces)



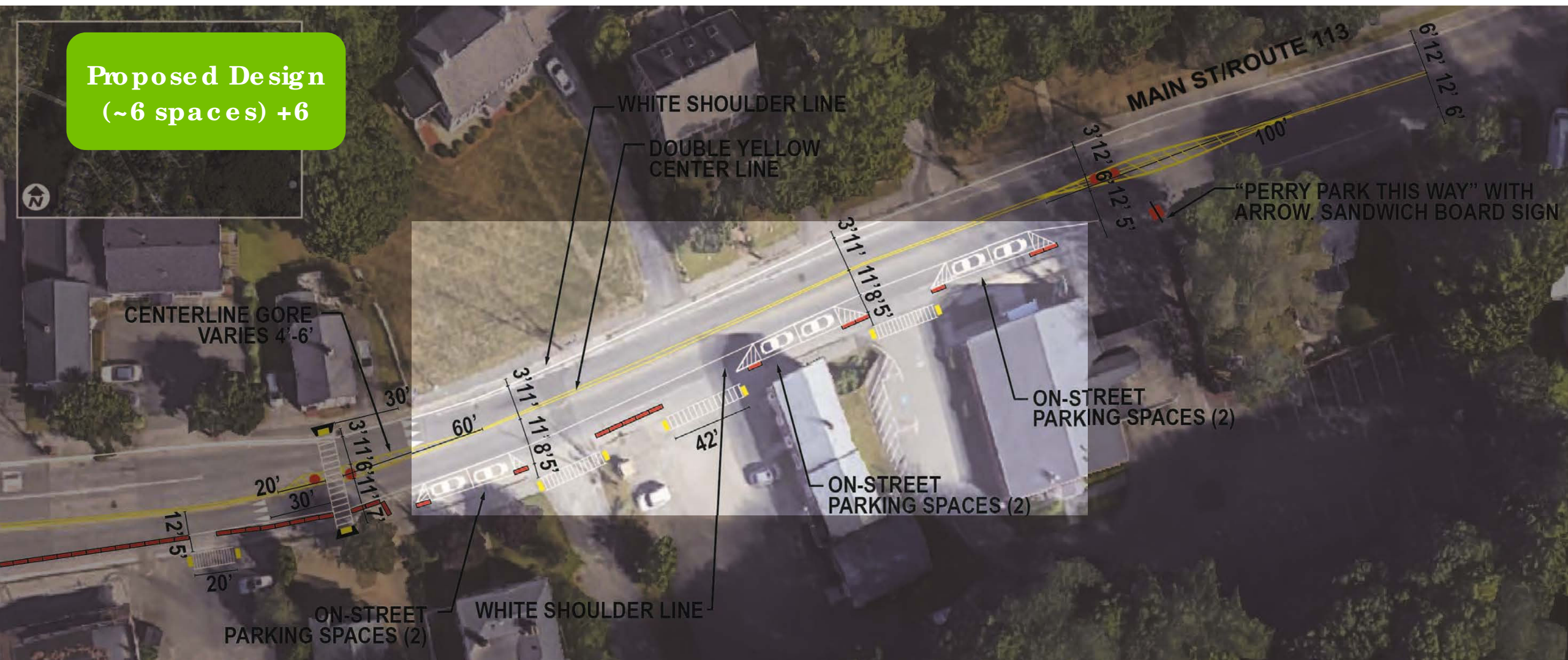
Proposed Design  
(~24 spaces) +4





## 2. Add on-street parking on key Elm Square corridors

**Proposed Design  
(~6 spaces) +6**





### 3. Create a more walkable Elm Square

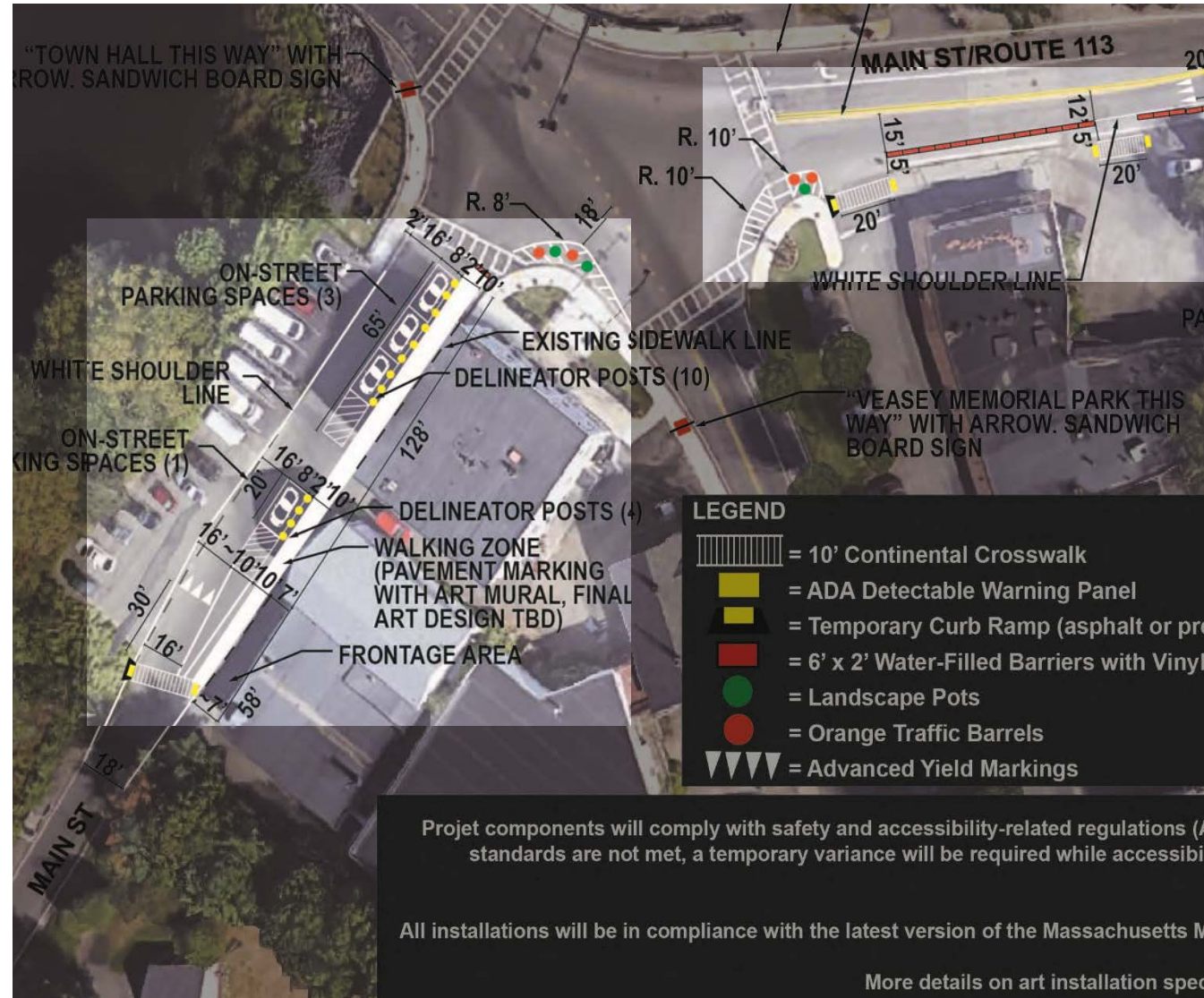
- Improve safety conditions and accessibility for those who walk, bike, or roll
  - Add crosswalks
  - Add traffic calming elements to roadways
  - Add ADA accessibility elements (ADA ramps, detectable panels)
  - Implement barriers between vehicles and pedestrians
  - Add lighting in off-street parking facilities and along sidewalks where necessary
  - Engage the Pentucket Arts Foundation to implement murals





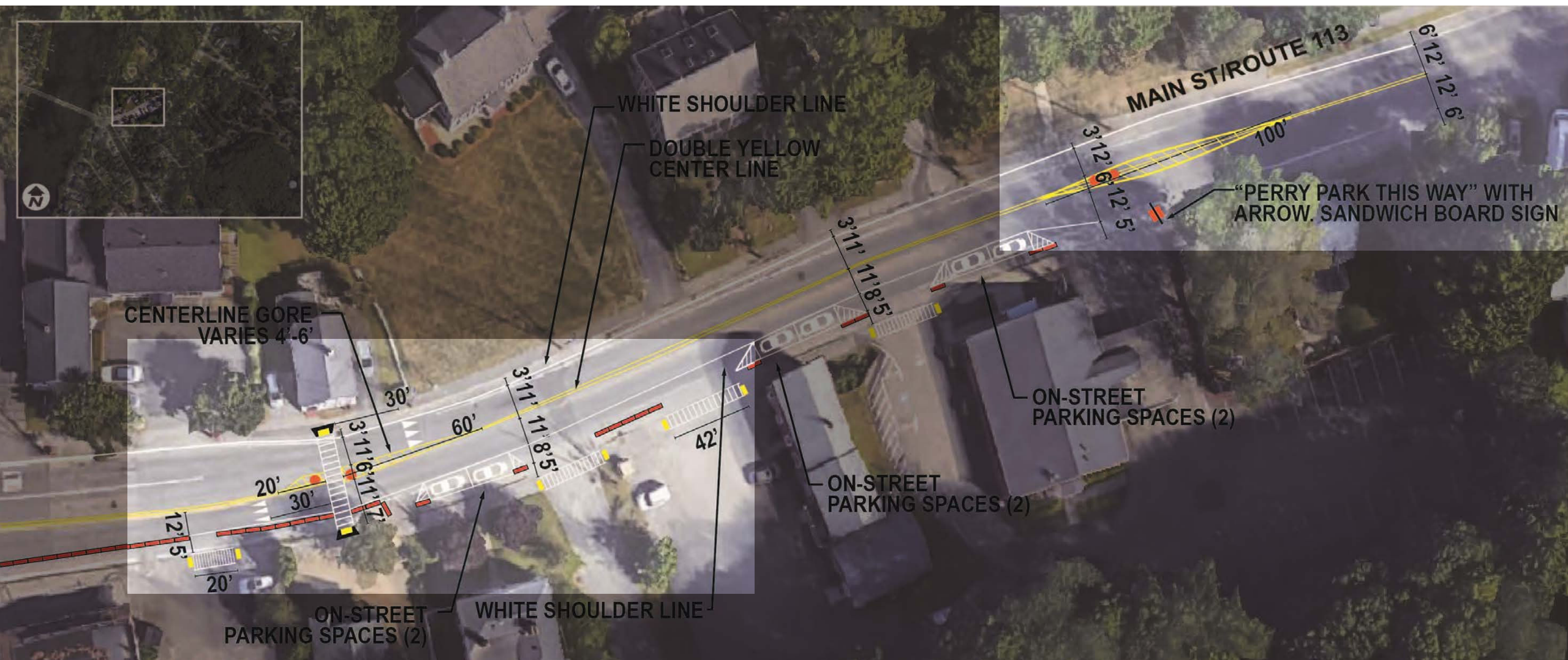
### 3. Create a more walkable Elm Square

- Improve safety conditions and accessibility for those who walk, bike, or roll
  - Add crosswalks
  - Add traffic calming elements to roadways
  - Add ADA accessibility elements (ADA ramps, detectable panels)
  - Implement barriers between vehicles and pedestrians
  - Add lighting in off-street parking facilities and along sidewalks where necessary
  - Engage the Pentucket Arts Foundation to implement murals





### 3. Create a more walkable Elm Square





### 3. Create a more walkable Elm Square



**Traffic calming  
- bump outs**

***Topsfield, MA (Fall 2020)***

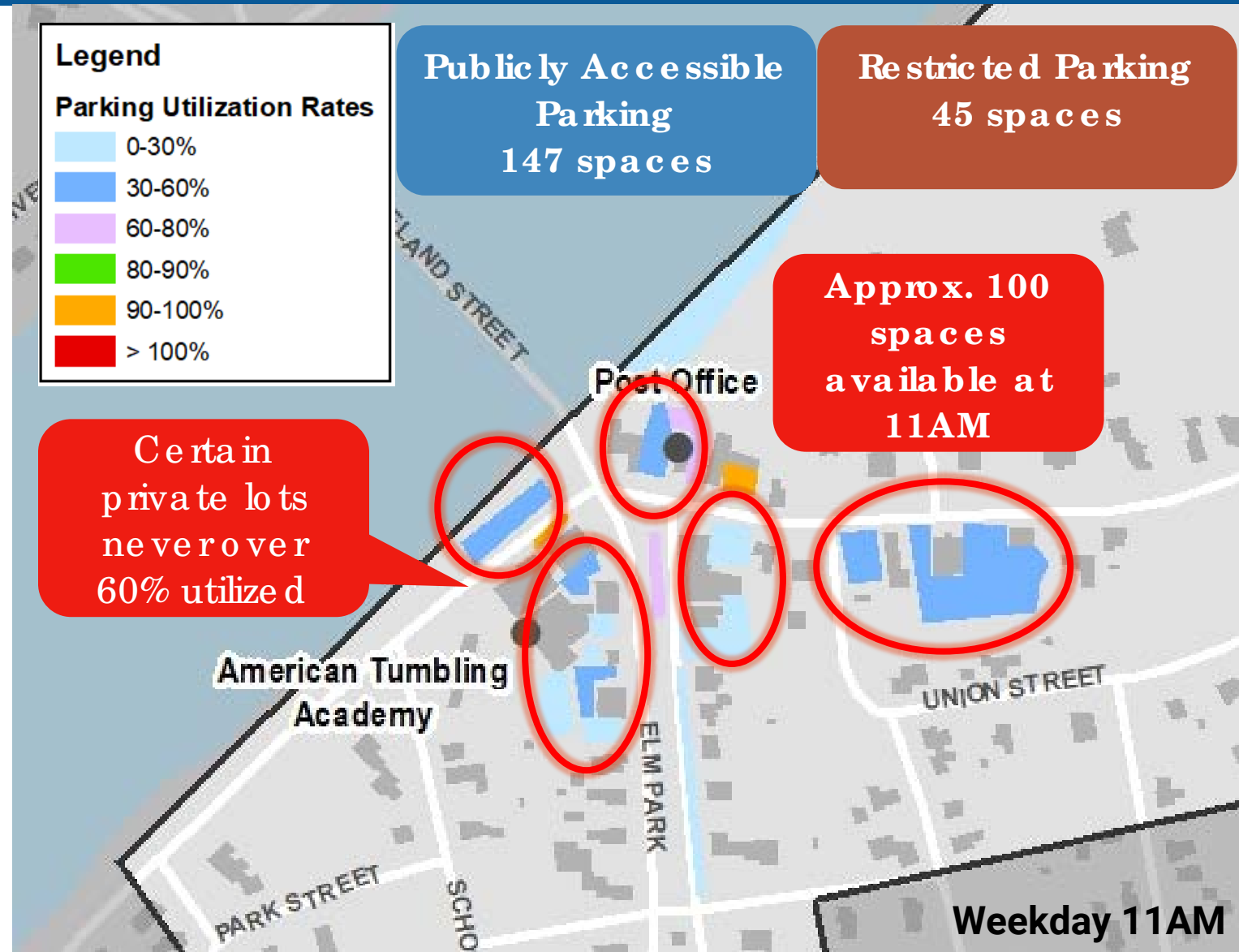


**Pedestrian facilities  
- outdoor dining  
spaces**

***Topsfield, MA (Fall 2020)***

## 4. Create a shared parking program & encourage shared parking in Elm Square

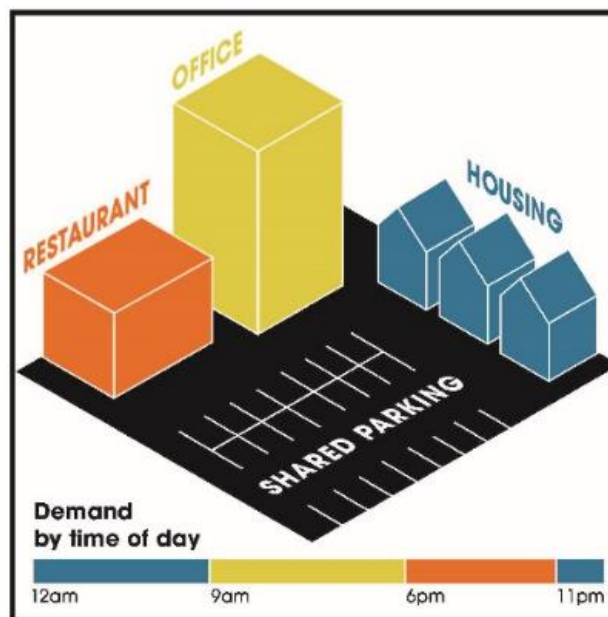
- **Unlock “restricted” parking facilities**
- **Proactively work with** off-street lot owners
- **Many forms** of shared parking:
  - Complimentary uses
  - A specific group, i.e. employees
  - General public
  - Special events
  - Consolidate lots





## 4. Create a shared parking program & encourage shared parking in Elm Square

- Provide **public incentives** for **private lot owners** to encourage sharing, such as:
  - Snow clearance
  - Maintenance
  - Signage
- **Keep sample agreements** (if needed) on file at Town Hall & maintain list of available shared spaces in **Elm Square**



## 4. Create a shared parking program & encourage shared parking in Elm Square

Ex.: 301 & 291  
Main Street

Existing  
Conditions  
(~23 spaces)

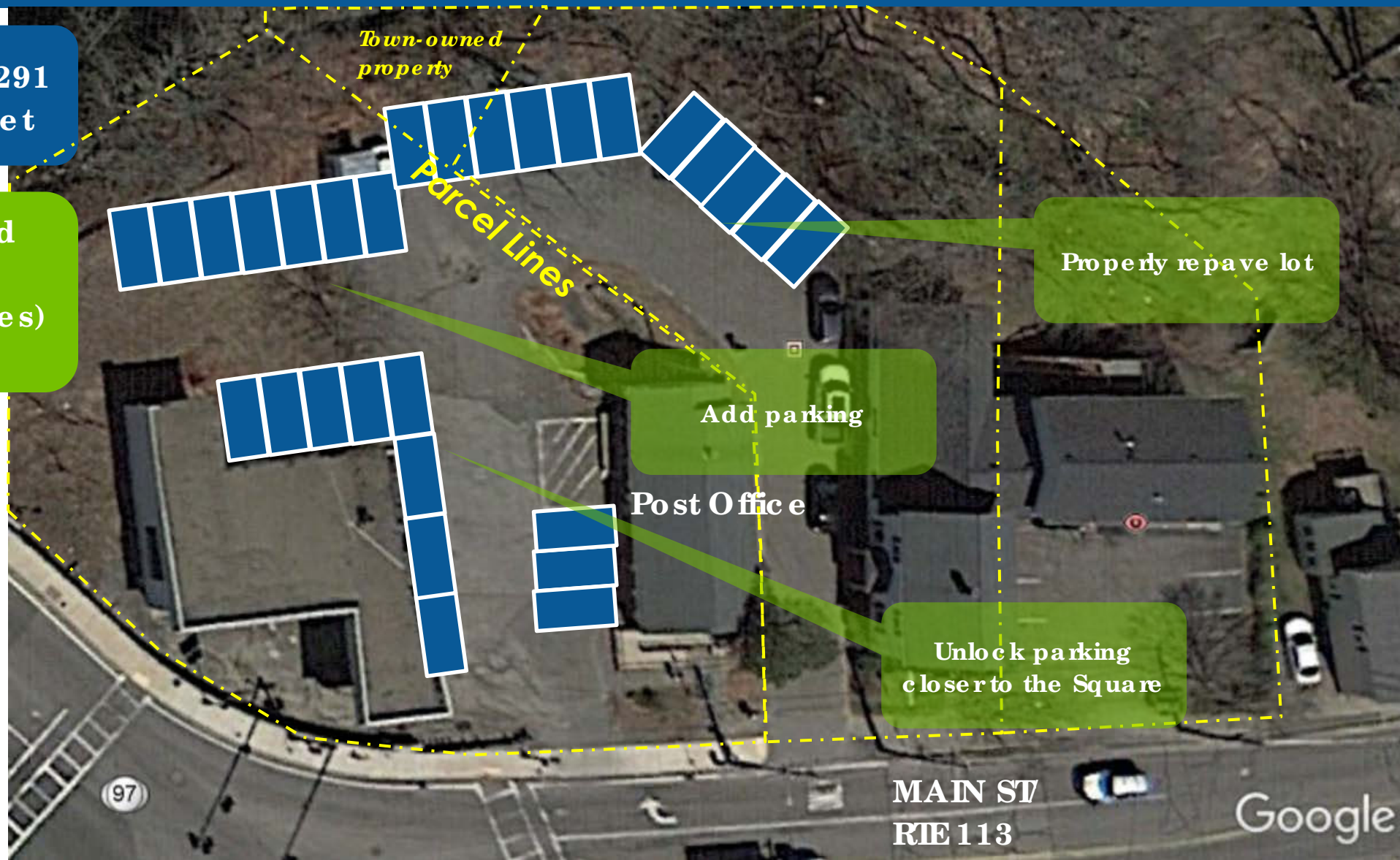




## 4. Create a shared parking program & encourage shared parking in Elm Square

Ex.: 301 & 291  
Main Street

Proposed  
Design  
(~33 spaces)  
+ 10



## 4. Create a shared parking program & encourage shared parking in Elm Square

### *Why should you share your parking facility?*

- Create “new” parking for business patrons during off-hours for adjacent, different uses
- This happens already among regular users—but visitors don’t know it’s ok

### *How can the Town help promote shared parking?*

- Use Town as a mediator between involved parties, ensuring land rights are protected and maintaining any grandfathered zoning privileges
- Act as neutral arbiter/ “middle man” to lessen landowner effort in arranging fair designation of spaces between private and public, establishing times and days of week for sharing, and ensuring fair protections and exit clauses
- Use Town as a resource to find sample shared parking agreements, overcome liability concerns, and provide best practice approaches

### *What are the benefits of sharing your facility?*

- Town can offer in-kind services, to re-pave lots, add landscaping, provide lighting and signage, maintain the facility, and provide winter maintenance/plowing services

## 4. Create a shared parking program & encourage shared parking in Elm Square



### Local Shared Parking Examples

#### Marlborough, MA

- *Allows shared parking in all districts for uses with different peak periods (i.e., offices vs residential buildings), allowing reductions of up to 1/2 of the minimum parking required for the uses separately.*
- *Requires reduced parking demand documentation & notification of open space for each parking space not provided due to shared parking*

#### Stoneham, MA

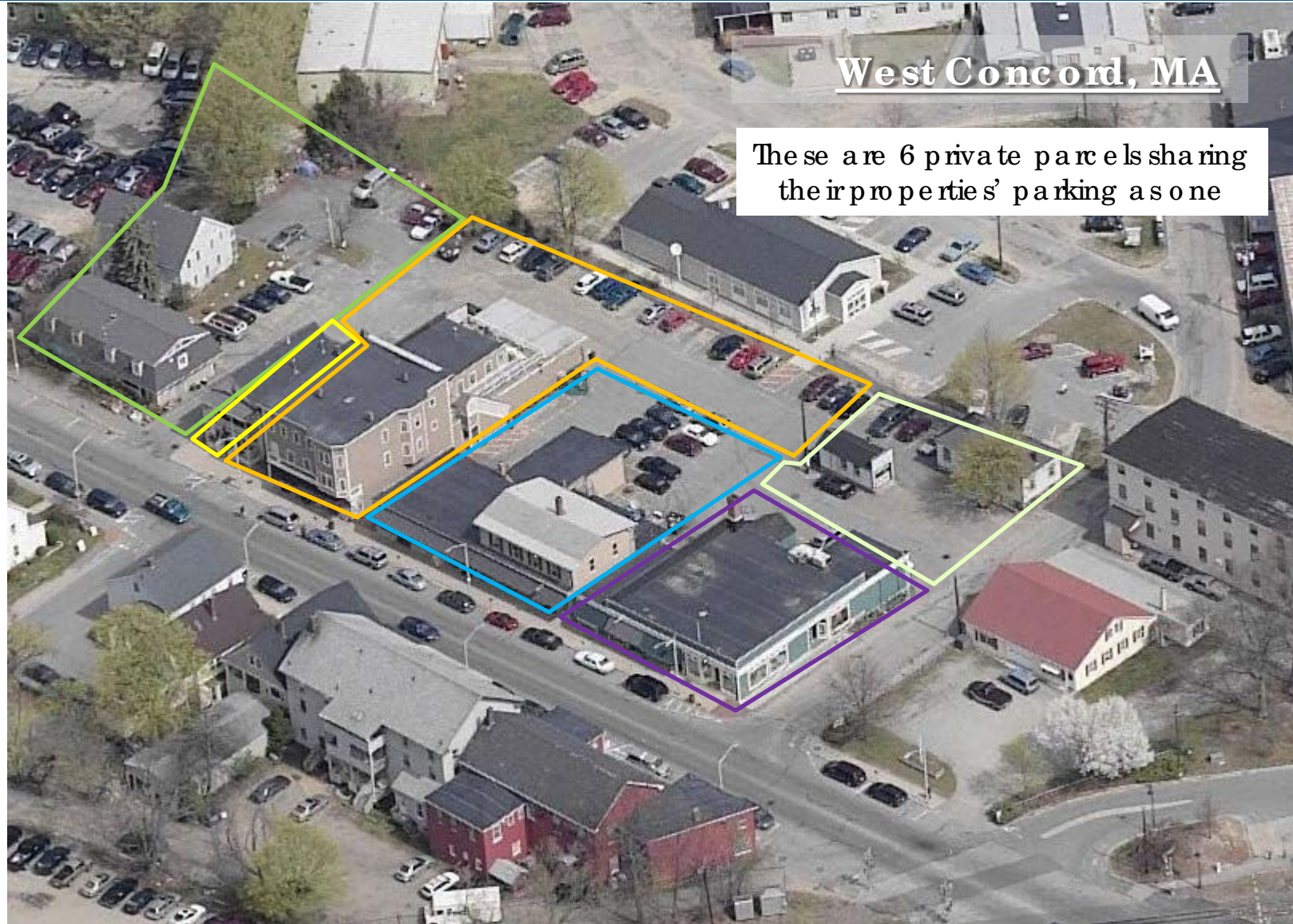
- *Can implement shared parking by special permit (upon Planning Board approval)*
- *Up to 50% of required spaces can be shared (with uses of different peak periods)*
- *Involved parties must sign a joint-use agreement*

#### West Concord, MA

- *Allows shared parking between multiple uses, so long as the involved party provides the amount of parking in proportion with the use requiring the greatest # of spaces*
- *The Planning Board can approve a reduction in the number of parking spaces*
- *A written agreement must be signed between all involved parties*



#### 4. Create a shared parking program & encourage shared parking in Elm Square





## 5. Reconfigure existing parking lots and open spaces

- Beautify parking facilities
- Create more parking spaces in current facilities
- Use shared parking agreements to open restricted parking lots
- Create attractive spaces for Farmers Markets, parks, and

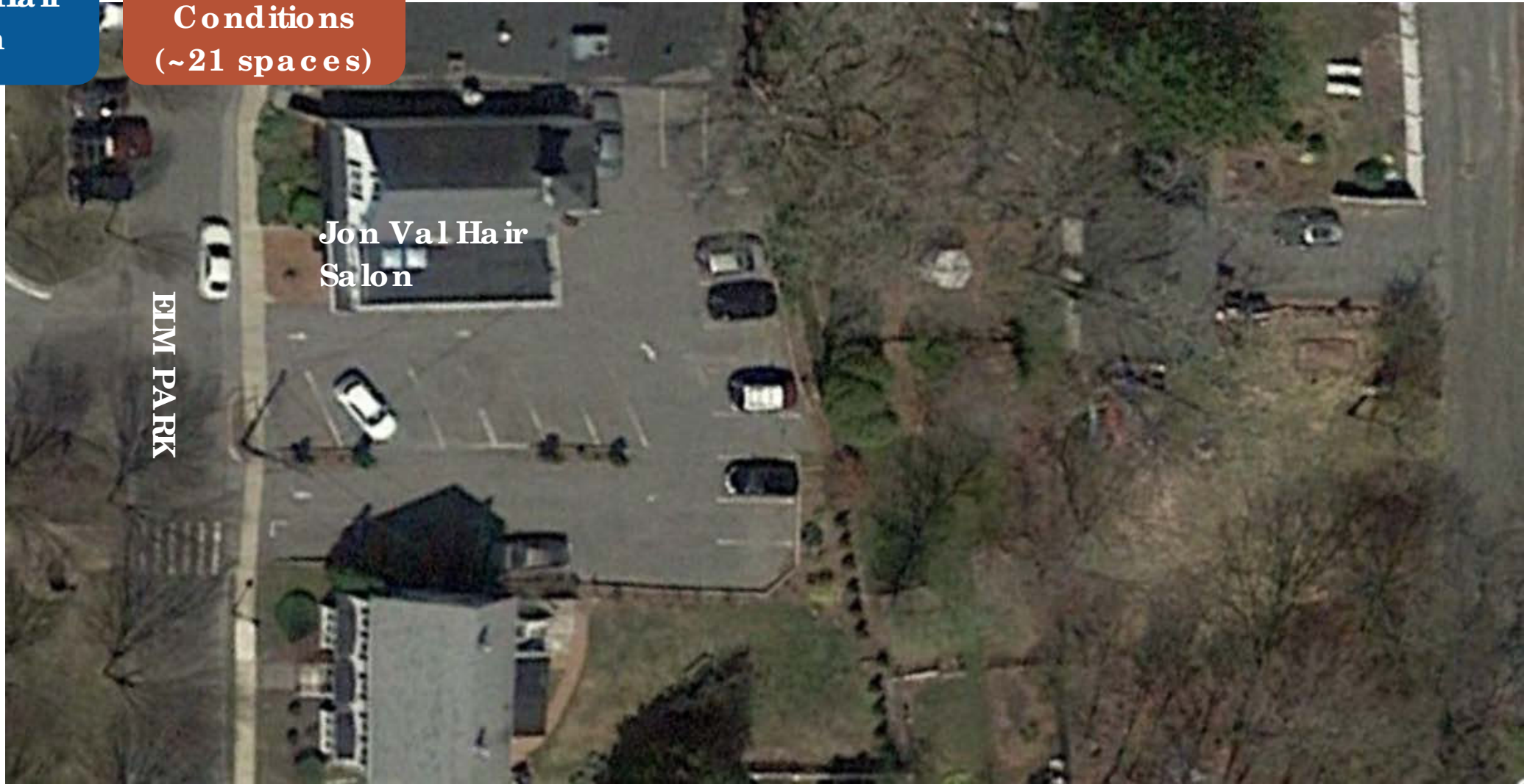




## 5. Reconfigure existing parking lots and open spaces

Jon Val Hair  
Salon

Existing  
Conditions  
(~21 spaces)

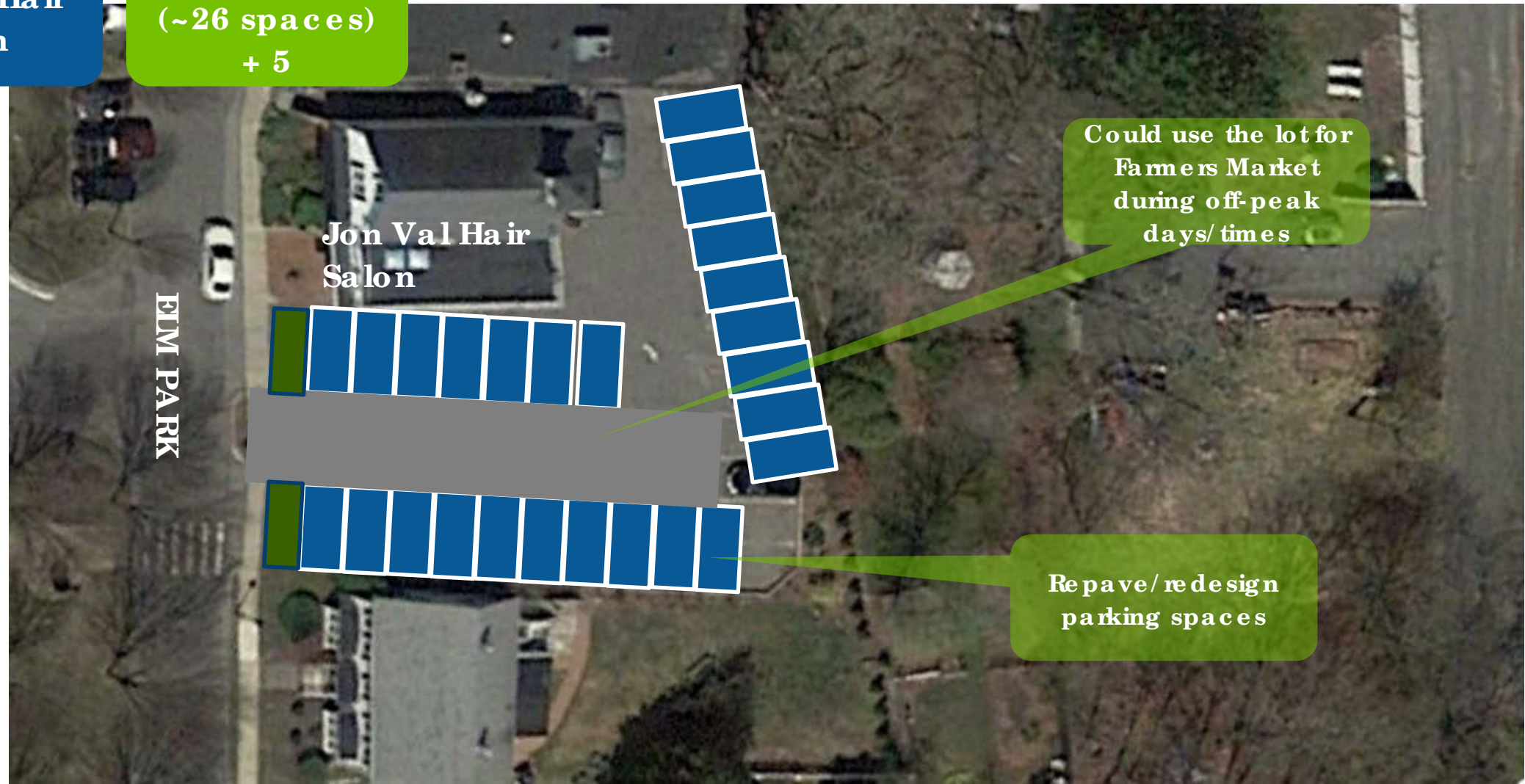


Jon Val Hair  
Salon

## 5. Reconfigure existing parking lots and open spaces

Jon Val Hair  
Salon

Design 1  
(~26 spaces)  
+ 5



## Draft Strategies

- 1. Designate publicly-available off-street parking with signage**
- 2. Add on-street parking on key Elm Square corridors**
- 3. Create a more walkable Elm Square**
- 4. Create a shared parking program & encourage shared parking in Elm Square**
- 5. Reconfigure existing parking lots to expand shared supply**

### Study Goals

- Document existing parking supply and daily demand
- Improve parking system for residents, employees, customers, and visitors
- Identify and recommend parking supply efficiencies/opportunities to improve parking in areas of higher demand
- Develop flexible parking standards to support Elm Square development

**THANK YOU!**





# Town of Groveland

## Zoning Board of Appeals

183 Main Street  
Groveland, MA 01834



Christopher Goodwin, Chair  
Jason Naves  
John Stokes II  
Brad Ligols  
John Grohol

### APPROVED X-X-2024

Board/Committee Name: ZONING BOARD OF APPEALS 2  
Date: Wednesday, April 3, 2024 3  
Time of Meeting: 7:30 PM  
Location: 183 Main Street, Groveland, MA 01834

Present: John Grohol, Chris Goodwin, Jason Naves, Brad Ligols

Absent: John Stokes II

Staff Present: Annie Schindler (Town Planner & Conservation Agent)

Public Present: Don Greaney (business abutter to 6-8 Elm Park), Rod Rivera (Manger for 6-8 Elm Park)

*NOTE: Minutes are not a transcript. A video recording of this meeting can be found on the Towns YouTube page.*

**MOTION:** Ligols motions to open the meeting. Grohol seconds the motion. Voting aye; Grohol, Ligols, Goodwin, Naves. The motion passes unanimously.

Goodwin: We are going to change the order of the agenda as the applicant for 6-8 Elm Park has not yet arrived due to traffic.

**CONTINUED: Application #2024-4 944 SALEM STREET:** Approval and signing of the decision.

Planner: After our last meeting the Board approved to issue the permit. I've put together a permit with the items the Board discussed. The only item that has to be worked out was the hours of operation. The usual hours in this zone are 7 am to 11 pm, but they are looking to be able to operate 24/7 during emergency situations like snowstorms and power outages.

Board: We are amenable to that change.

*Board signs decision at the end of the meeting.*

**MINUTES:** Approval of the December 6, 2023, January 3, 2024, and March 6, 2024, meeting minutes.

**MOTION:** Ligols motions to accept the minutes. Grohol seconds the motion. Voting aye; Grohol, Ligols, Goodwin, Naves. The motion passes unanimously.

### **TOWN PLANNER UPDATE**

Planner: The Board received an application from Esty Park to add a new building to the site. The Board issued a permit for this site in 2014, so this will be a major modification with notifications to abutters and notice in the newspaper. That will be on the May 1<sup>st</sup> agenda. Coming up in Town; Candidates Night is April 24<sup>th</sup>, Town Meeting is April 29<sup>th</sup>, and Local Elections are May 6<sup>th</sup>. This Friday there is a Veasey Visioning Session, which will be conducted by the consultant who is creating a plan for the Park, funded through CPA funds.

### **OTHER ITEMS NOT REASONABLY ANTICIPATED AT THE TIME OF POSTING**

*None.*

**MOTION:** Ligols motions to recess until the applicant for 6-8 Elm Park arrives. Grohol seconds the motion. Voting aye; Grohol, Ligols, Goodwin, Naves. The motion passes unanimously. *Recess began at 7:37 PM.*



**MOTION:** Goodwin motions to reopen the meeting for the Groveland Zoning Board of Appeals for the April 3<sup>rd</sup>, 2024. Ligols seconds the motion. Voting aye; Grohol, Ligols, Goodwin, Naves. The motion passes unanimously. *Recess ends at 7:45 PM.*

## **PUBLIC HEADING**

**NEW: Application #2024-5 6-8 ELM PARK** – A public hearing in accordance with MGL, Chapter 40A, as amended, for the application #2024-5 made by Rod Rivera, 97 Beach Street, Malden, for the premises located at 6-8 Elm Park Groveland, Map 10 Lot 013, located in the Business (B) Zoning District for a Special Permit in accordance with Section 50.4.5 (Table of Uses) of the Groveland Zoning Bylaw to operate restaurant.

Goodwin: Reads the above notice.

Rod Rivera: I'm the representative of the applicant. We want to keep it as a restaurant and a sports bar. We want to have the hours be 11 AM – 10 PM Sunday – Thursday, 11 AM to midnight Friday – Saturday if possible. It was always a restaurant; we just want to change the design and make it an authentic Mexican restaurant and sports bar. A mother and son are the owners and will be working in the kitchen, then we will have someone working at the bar. I will be handling the business management part of it.

Grohol: Is the number of seats changing significantly from the restaurant before?

Rivera: I'm not sure. We used an equation to get the most number of seats for the bar, seating area, and kitchen. We are asking for 50 total.

Grohol: Have you addressed the needs for parking in the area?

Rivera: We discussed that last night at the Planning Board meeting. I went and there were no cars parked. We're going to be doing the same thing until the next Planning Board meeting.

Planner: There are 42 seats proposed, the last restaurant had 24 seats.

Rivera: We're also going to have two waiters/waitresses on the floor, one bartender, maybe two, and then 2 people in the kitchen, sometimes three. Sometimes we need extra hands. The total capacity is 50.

Goodwin: I don't see that area holding 50 people, but for the sake of the argument I don't think we need to worry about capping the capacity.

Ligols: What do you think about the hours?

Goodwin: I don't see a problem with them.

Grohol: What are the standard hours in that area?

Planner: In the Business Zone the typical hours are 7 AM to 10 PM.

Ligols: What did we give Pub 97?

Planner: They were Sunday – Thursday 7 AM to 12 AM, Friday – Saturday 7 AM – 1 AM.

Naves: They don't have any residential abutters.

Grohol: Would we want to wait on the permit from the Planning Board on parking?

Goodwin: I think we can assume that the Planning Board will make the correct decision.

Don Greaney: My company is across the street. Who grants the liquor license?

Goodwin: The Board of Selectmen.

Greaney: Do we still have licenses?

Planner: Yes.

Greaney: I think that the hours make sense, I think the Tea Garden is open that late most nights. I don't know if they need to add sprinklers to the building.

Ligols: That is up to the Building Inspector. These things aren't up to this Board.

Greaney: It's just too bad the property owner doesn't have enough parking for all their tenants, I know we had to. I would just hate to see them spend a lot of money and not have people show up and not able to park. Other than that, I'm not against businesses, I just want everyone to be on the same playing field.

Ligols: Have you done your walk through with the Building Inspector yet? It doesn't have anything to do with this Board, I'm just curious.

Rivera: I had a hard time navigating the portal and uploading what I needed to. I emailed him everything though. I have not gotten word back from him yet. I'm hoping he responses soon to do a walk through. A

lot of the equipment is already there. We're really only going to be changing the bathrooms to be handicap accessible.

Goodwin: I'd like to go through the seven points of the special permit approval. Point one, Social, economic, or community needs are served by the proposal.

Board: In agreement.

Goodwin: Point two, traffic flow and safety, including parking and loading.

Board: We're okay deferring to the Planning Board on this aspect.

Goodwin: Point three, adequacy of utilities and other public services.

Board: We are okay with this as well.

Goodwin: Neighborhood character and social structures.

Board: In agreement.

Goodwin: Impacts on the natural environment. I don't think there are any.

Board: Agreed.

Goodwin: Potential fiscal impact, including impact on Town services, tax base, and employment.

Board: All positive.

Goodwin: Consistency with the Town of Groveland Community Development Plan or the Town of Groveland Master Plan. Development at Elm Park was a part of that plan.

Board: Agreed.

Goodwin: I think we are satisfied on our seven points then.

**MOTION**: Grohol motions to approve application 2024-5 for a special permit in accordance with section 50-4.5 Table of uses of the Groveland Zoning Bylaw to operate a restaurant. Ligols seconds the motion. Voting aye; Grohol, Ligols, Goodwin, Naves. The motion passes unanimously.

Planner: Should I draft up a set of conditions that the Board can look at with the applicant so it can be looked at prior to issuing so everyone is on the same page? The Board didn't discuss any conditions before the motion was made. The Board can leave the public hearing open so it can be discussed at the next meeting with the applicant and the board.

Board: Yes, we will do that, we can meet prior to the next Planning Board meeting on April 23, 2024 at 6:30 PM.

Ligols: Should we remotion to continue the hearing?

**MOTION**: Ligols motions to rescind the previous approval because there were no conditions. Grohol seconds the motions. Voting aye; Grohol, Ligols, Goodwin, Naves. The motion passes unanimously.

Planner: I believe since the first motion was just to approve the application, the decision can be approved with a separate motion, inclusive of the conditions.

Board: So, we need to re-do our original motion?

**MOTION**: Grohol motions to approve application 2024-5 for a special permit in accordance with Section 50-4.5 Table of Uses of the Groveland Zoning Bylaw to operate a restaurant, pending conditions. Ligols seconds the motion. Voting aye; Grohol, Ligols, Goodwin, Naves. The motion passes unanimously.

**NEXT MEETING** April 23<sup>rd</sup> at 6:30 PM, May 1, 2024, at 7:30 PM.

## **ADJOURNMENT**

**MOTION**: Goodwin motions to adjourn the meeting at 8:09 PM. Ligols seconds the motion. Voting aye; Naves, Goodwin, Grohol. Voted unanimously in favor, the motion passes.

Respectfully submitted,

Annie Schindler, Town Planner & Conservation Agent