

## **Parking and Access to the Shanahan Recreational Fields**

### **Applicant Information**

Name of Applicant: Rebecca Oldham, Town Administrator

Name of Co-Applicant, if applicable: Annie Schindler

Contact Name: Rebecca Oldham

Mailing Address: 183 Main St, Groveland

Phone: 9778.556.7204

Email Address: roldham@grovelandma.com

### **Location of Project**

Name of Project: Parking Creation at Shanahan Fields

Address of Project (or Assessor's parcel ID): 423 Main Street, Groveland

### **Funding Information**

CPA Category (include all that apply):

Open Space

Historic Preservation

**Recreation X**

Community Housing

### **Project Cost**

CPA Funding Requested: \$886,800

Total Cost of Proposed Project: \$886,800

### **Project Information**

#### **1. Description**

Shanahan Field is primarily used by Groveland Youth Soccer, where parking is limited on site, forcing parents and children to park on the street, creating a dangerous traffic situation. This project proposes



to create designated parking and improve the vehicular circulation at the site to provide a safer environment for recreational field users. It also includes drainage, landscaping, and lighting.

The project was before Town Meeting in 2023 but was tabled because there was some confusion as to a civil dispute between neighbors. The property line dispute is between the neighbors and not the Town and the project does not propose to interfere with that dispute. The current plan takes into account the Knox House and its use by the Historical Society. It also allows us to expand further towards Rivers Edge in the future, if needed.

## 2. Goals

The goal is to provide safe access and parking for our recreational facilities.

## 3. Community Need

The site is the former location of the Shanahan School. The designated parking area is limited to the old school turnaround, which is unlined and not suitable for parking. With the existing layout, residents are forced to park on a busy street, and occasionally and unintentionally block the residential driveways along Main Street. Presently, there is no designated handicap parking, and the Town's Open Space and Recreation Plan specifically notes this as an issue. It also calls for improving general access to Shanahan Field. The creation of proper parking would improve the safety of residents and children who use the fields for soccer and other passive recreation opportunities along the Merrimack River. Soccer field parking can be grouped into three functions, each with different parking demands: practice (parking demand of about 15 vehicles per field), games/tournaments (parking demand of about 60 vehicles per field), and regional qualifying tournaments with non-local teams (parking demand of about 70-90 vehicles per field). It also needs to take into consideration games that are scheduled back-to-back and those leaving the field and those arriving at the field. The Soccer Association tries to limit this impact through scheduling, but it cannot always be avoided. The parking lot must have adequate circulation in between aisles to accommodate traffic that is leaving and arriving. It also must provide better ADA access throughout the site.

Additionally, this parking lot will provide designated parking near the newly completed Community Trail, which is .13 miles away and connected through the existing sidewalk. There are future parking spaces planned near the trail entrance at Main Street, but this does offer another parking opportunity to those already looking to walk and/or bike. But it is also important to leverage connections through existing infrastructure like trailways, complete streets and other multi-modal systems to provide easy access for bicyclists and pedestrians who visit the facility.

Lastly, parking on the sidewalk currently is illegal. See the below excerpt from Section [§ 355-15\(B\)](#) of the general bylaw.

*General parking prohibitions.*

*No person shall park a vehicle in any of the following places. Vehicles found in violation of the provisions of this section may be issued a violation tag, moved by or under the direction of a police officer, or both. If moved or towed, the moving or towing shall be at the expense of the owner.*

A parking lot that is completely located within the site must be created, to make sure people will not continue to illegally park on the sidewalks adjacent to the property.

#### **4. Community Support**

This will directly benefit Groveland Youth Soccer, Groveland residents who use Shanahan Field, and those live in the area or travel through the area. This will also encourage the use of the fields and enhance activity at the site. Most notably it will provide parking for those who wish to access the trail along the Merrimack River and the Community Trail. The Comprehensive Master Plan survey found that residents would like the Town to focus on enhancing our current recreational locations and making them more accessible. This is also supported by surrounding neighbors who struggle during the soccer season with parking up and down Main Street, blocking access to driveways and vehicles that crowd the roadway. This project is also supported by public safety officials.

#### **5. Timeline**

The project will begin as soon as funding is available and will be coordinated around the use of the fields to limit impact. The engineer will finalize the plan and estimate and provide documents to put the project out to bid. A contractor will be awarded the contract and begin the work. The design engineer will oversee construction and ensure the project is constructed per plan.

#### **6. Implementation**

The project will be managed by Rebecca Oldham, Town Administrator, and Renny Carroll, Highway Superintendent. Both will be responsible for providing updates and status reports to the Committee. The engineering firm will perform construction monitoring.

#### **7. Success Factors**

The success of this project would be measured by reviewing the project scope, evaluating project specifications, analyzing the project budget, and reviewing use of the parking lot.

The newly designated parking area will accommodate those who use the field, but also ensure that the driveways along Main Street do not get blocked and field users can safely access the site. Success will additionally be measured by the decrease in street parking along Main Street during the soccer season.

#### **8. Budget**

See attached estimate. This includes full scale engineering.

#### **9. Other Funding / Matching**

N/A

#### **10. Maintenance**

Ongoing maintenance will be to maintain drainage and landscaping. This is currently the responsibility of the Highway Department with assistance from the youth leagues. The new parking lot will require the same partnership.

# Shanahan Field

## Site Plans

### 423 Main Street

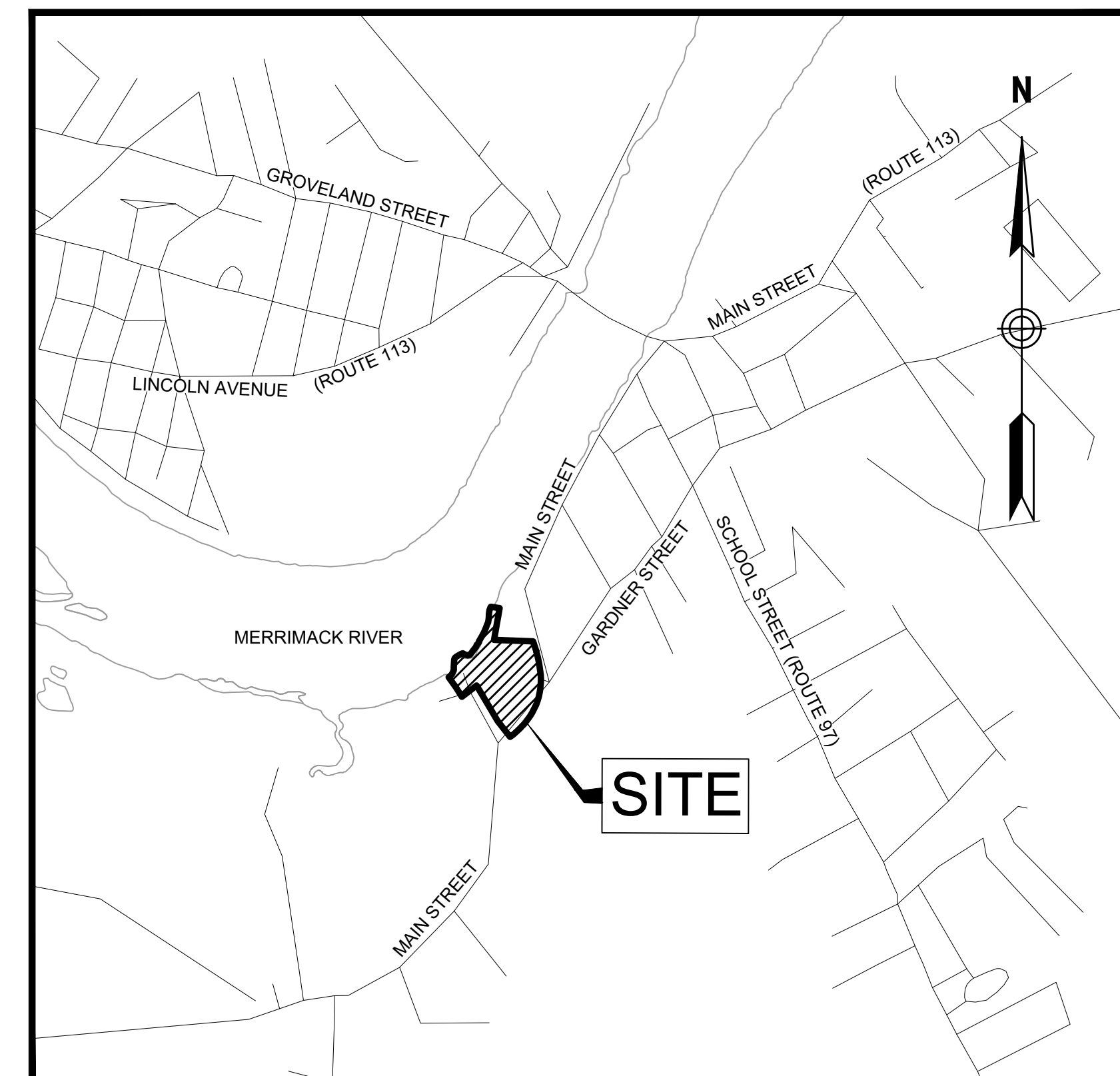
### Groveland, MA

#### Site Plans Index

No.	Drawing Title	Latest Issue
C-1	Title & Index Sheet	December 15, 2023
C-2	Legend & General Notes	December 15, 2023
C-3	Erosion Control & Demolition Plan	December 15, 2023
C-4	Construction Plan	December 15, 2023
C-5	Construction Details	December 15, 2023
C-6	Construction Details	December 15, 2023

#### Reference Plans Index

No.	Drawing Title	Latest Issue
-----	---------------	--------------



LOCUS PLAN

0 1,000 2,000  
SCALE IN FEET



TEC, Inc.  
282 Merrimack Street  
2nd Floor  
Lawrence, MA 01843  
978-794-1792

169 Ocean Blvd  
PO Box 249  
Hampton, NH 03842  
603-601-8154

311 Main Street  
2nd Floor  
Worcester, MA 01608  
508-868-5104

www.TheEngineeringCorp.com

DESIGNED BY SNL  
DRAWN BY SNL  
CHECKED BY PFE  
DATE 12/15/2023  
SCALE AS NOTED

PREPARED FOR  
Town of Groveland  
Highway Department  
183 Main Street  
Groveland, MA 01834

REVISIONS

ISSUED FOR  
Permitting

PROJECT TITLE  
Shanahan Field

PROJECT LOCATION  
423 Main Street  
Groveland, MA

DRAWING TITLE  
Title &  
Index Sheet

PROJECT NO.

TEC CAD FILE  
Shanahan\_Cover

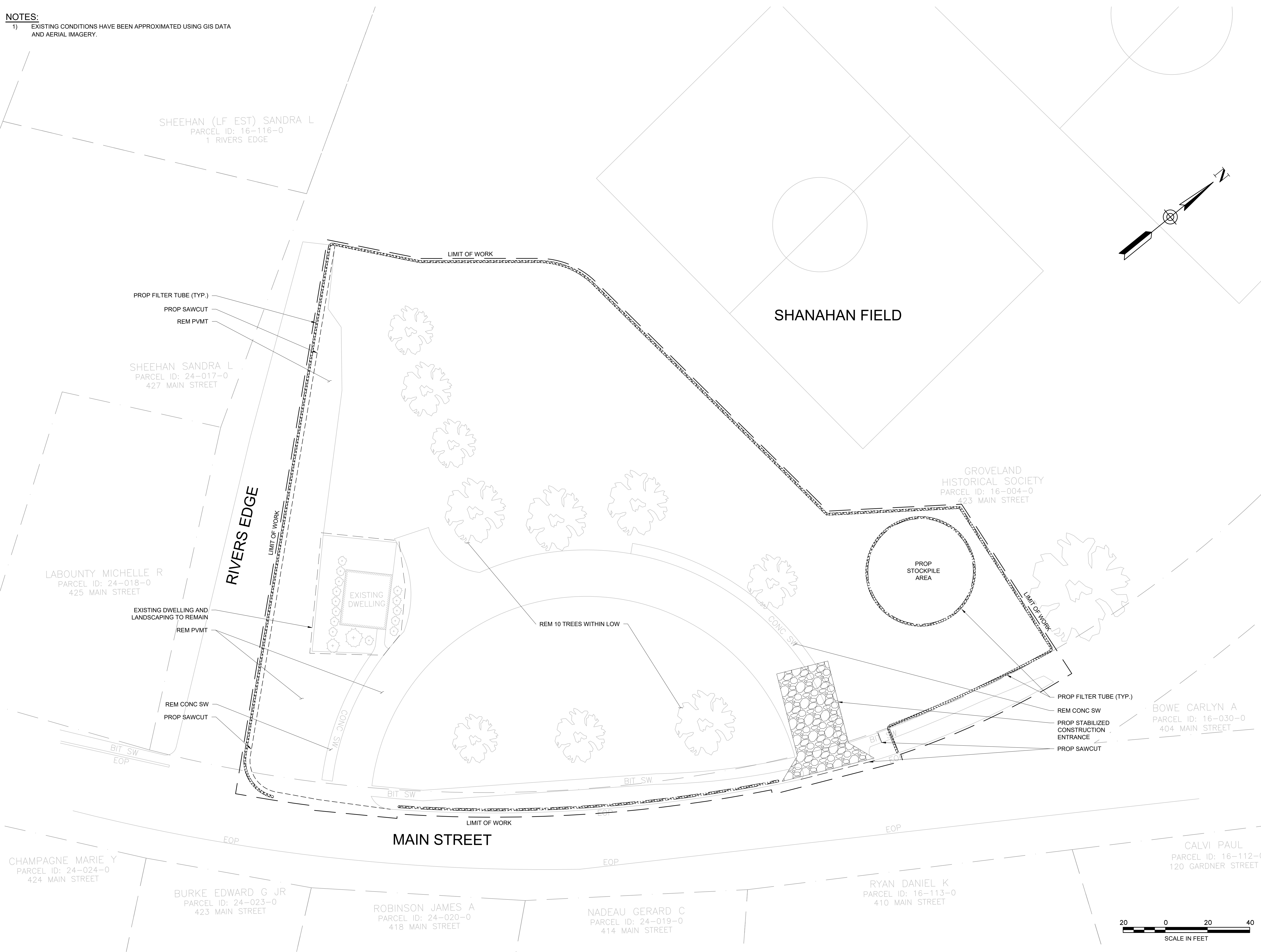
DRAWING NO.

C-1

SHEET 1 OF 6



**NOTES:**  
 1) EXISTING CONDITIONS HAVE BEEN APPROXIMATED USING GIS DATA AND AERIAL IMAGERY.



TEC, Inc.  
 282 Merrimack Street  
 2nd Floor  
 Lawrence, MA 01843  
 978-794-1792  
 169 Ocean Blvd  
 PO Box 249  
 Hampton, NH 03842  
 603-601-8154  
 311 Main Street  
 2nd Floor  
 Worcester, MA 01608  
 508-868-5104  
 www.TheEngineeringCorp.com

DESIGNED BY	SNL
DRAWN BY	SNL
CHECKED BY	PFE
DATE	12/15/2023
SCALE	1"=20'

PREPARED FOR  
**Town of Groveland  
 Highway Department  
 183 Main Street  
 Groveland, MA 01834**

REVISIONS

ISSUED FOR  
**Permitting**

PROJECT TITLE  
**Shanahan Field**

PROJECT LOCATION  
**423 Main Street  
 Groveland, MA**

DRAWING TITLE  
**Erosion Control &  
 Demolition Plan**

PROJECT NO.	
TEC CAD FILE	Shanahan_ER&DEMO
DRAWING NO.	<b>C-3</b>
SHEET 3 OF 6	

NOT FOR CONSTRUCTION

TRAFFIC SIGN SUMMARY								
IDENTIFICATION NUMBER	SIZE OF SIGN (in)		SYMBOL	TEXT DIMENSIONS (in)			NUMBER OF SIGNS REQUIRED	NUMBER OF POSTS
	WIDTH	HEIGHT		LETTER HEIGHT	VERTICAL SPACING	ROUTE MARKER		
R1-1	30	30		SEE MUTCD SIGN STANDARDS			1	1
R7-8*	12	18					4	4
R7-8SP**	12	6					4	4

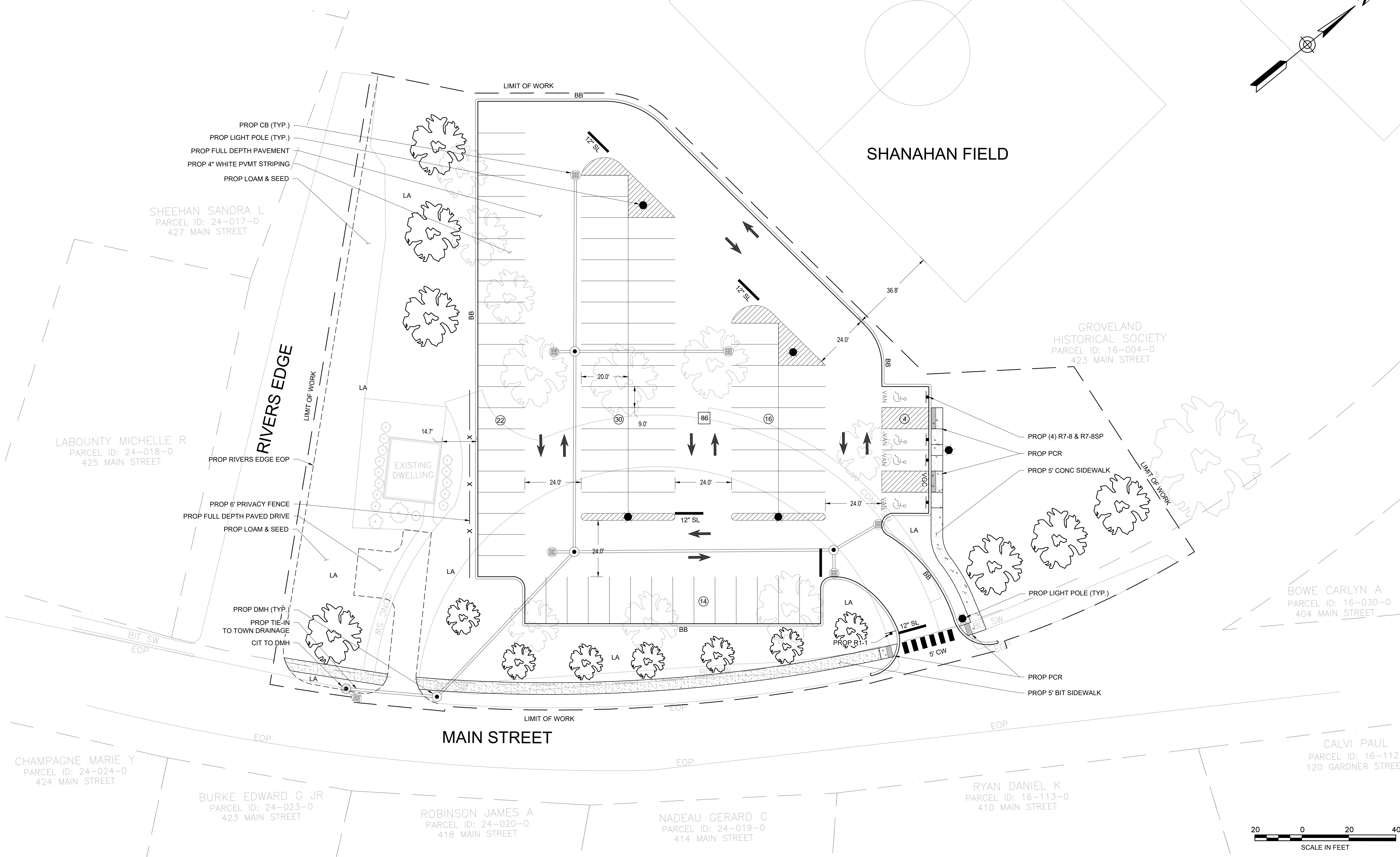
\* HANDICAP PARKING SIGNS SHALL BE IN ACCORDANCE WITH TOWN OF GROVELAND STANDARDS AND ADA/AB REGULATIONS  
 \*\* VAN SIGNS SHALL BE LOCATED AT ALL ADA SPACES. PER ADA ACCESSIBILITY GUIDELINES (AMENDED 2002) ANY SPACE WITH A VAN SIGN IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS

PARKING TABLE		
PROPOSED PARKING	86 SPACES	
REQUIRED ACCESSIBLE PARKING	4 SPACES (2 VAN ACCESSIBLE)	
PROPOSED ACCESSIBLE PARKING	4 SPACES (2 VAN ACCESSIBLE)	
DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
PARKING SPACE DIMENSIONS	9'x18'	9'x20'
aisle width (two way)	24 FT	24 FT

PLANTING SCHEDULE			
SYMBOL	QUANTITY	COMMON NAME	SCIENTIFIC NAME
	14	RED MAPLE	ACER RUBRUM

**NOTES:**

- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLAN AND THE NUMBER OF PLANTS IN THE PLANTING SCHEDULE, THE PLAN SHALL GOVERN.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
- ALL NEW PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANTING SCHEDULE.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING, HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL NEW PLANTS SHALL BE TAGGED AND APPROVED BY THE ENGINEER AT THE NURSERY PRIOR TO DIGGING OR DELIVERY TO THE SITE.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE ENGINEER.
- STAKE LOCATIONS OF ALL PROPOSED PLANTING FOR APPROVAL BY ENGINEER PRIOR TO THE COMMENCEMENT OF PLANTING.
- NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. TREES SHALL BE SET 3" HIGHER THAN PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PLANT BEDS TO RECEIVE UN-DYED, AGED AND SHREDDED BARK MULCH AS PER SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED BY CONTRACTOR UNTIL FINAL ACCEPTANCE AND GUARANTEED FOR 1 CALENDAR YEAR.
- AREAS LABELED "LA" ARE LANDSCAPED AREAS. CONTRACTOR SHOULD INCLUDE PLACEMENT OF 4" LOAM AND SEEDING WITHIN THE IDENTIFIED AREAS.



TEC, Inc.  
 282 Merrimack Street  
 2nd Floor  
 Lawrence, MA 01843  
 978-794-1792  
 169 Ocean Blvd  
 PO Box 249  
 Hampton, NH 03842  
 603-601-8154  
 311 Main Street  
 2nd Floor  
 Worcester, MA 01608  
 508-868-5104  
 www.TheEngineeringCorp.com

DESIGNED BY	SNL
DRAWN BY	SNL
CHECKED BY	PFE
DATE	12/15/2023
SCALE	1"=20'

PREPARED FOR  
**Town of Groveland  
 Highway Department  
 183 Main Street  
 Groveland, MA 01834**

REVISIONS

ISSUED FOR  
**Permitting**

PROJECT TITLE  
**Shanahan Field**

PROJECT LOCATION  
**423 Main Street  
 Groveland, MA**

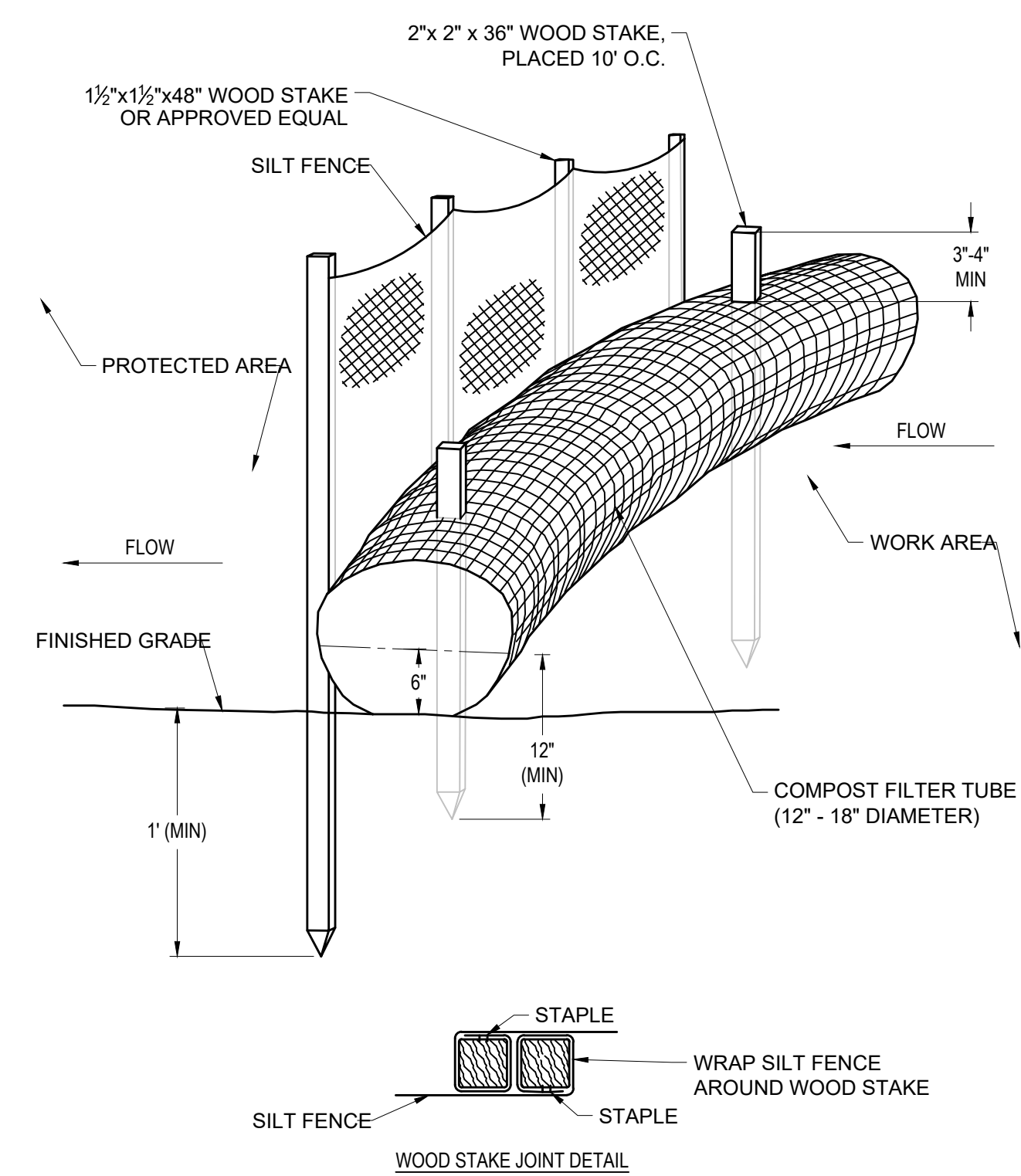
DRAWING TITLE  
**Construction Plan**

PROJECT NO.	
TEC CAD FILE	
Shanahan_Construction Plan	
DRAWING NO.	<b>C-4</b>
SHEET 4 OF 6	



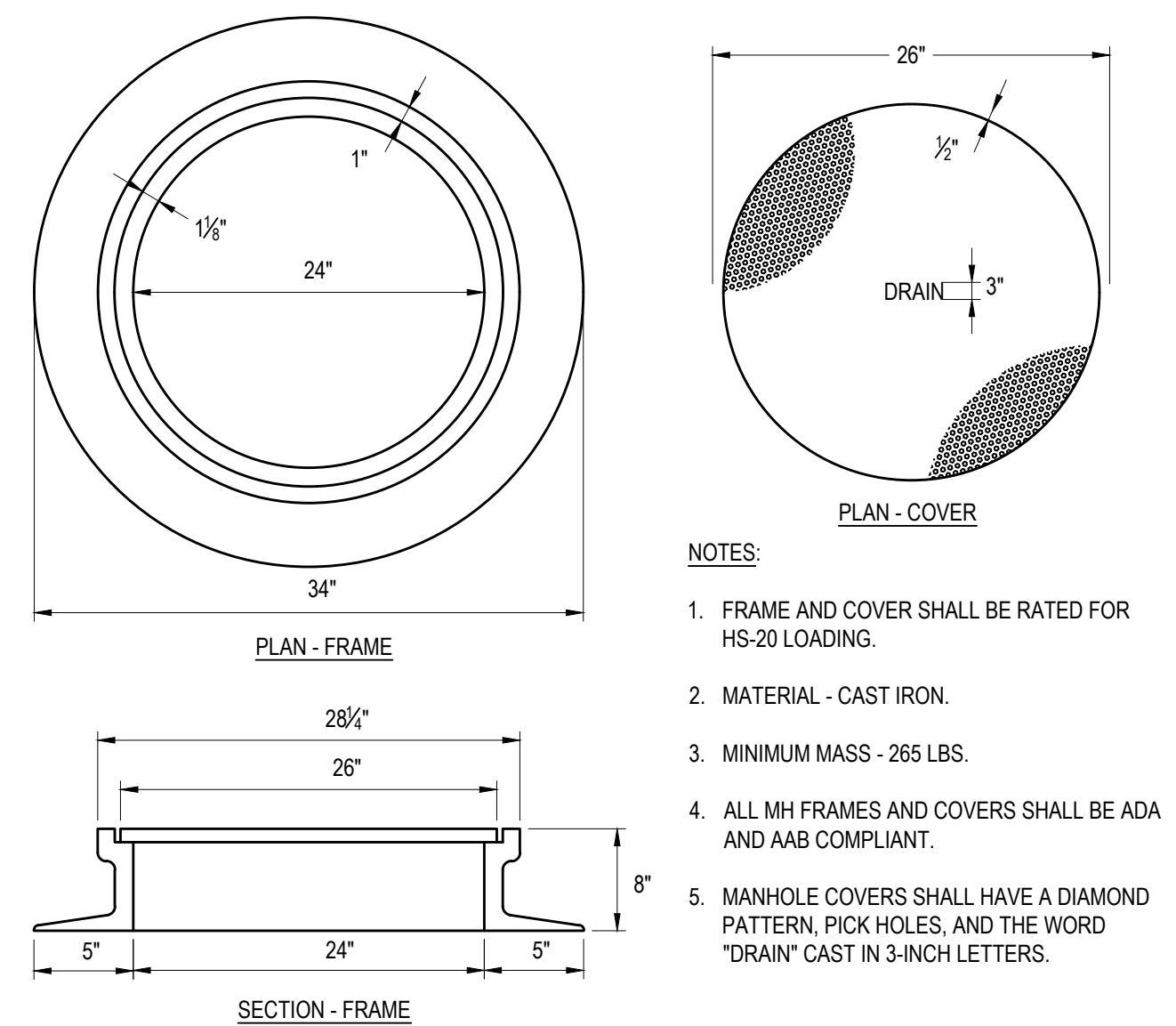
**NOT FOR CONSTRUCTION**



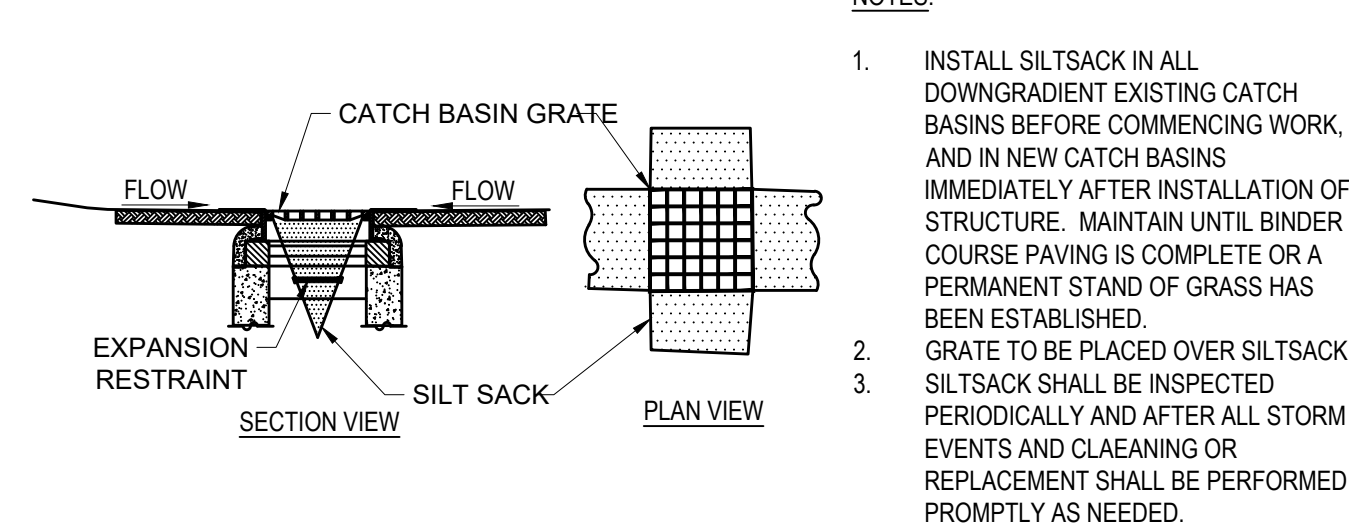


- NOTES:**
- SILT FENCE SHALL BE FASTENED SECURELY TO POSTS WITH STAPLES. POSTS SHALL BE SPACED 8'-10" ON CENTER.
  - WHEN TWO SECTIONS OF SILT FENCE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  - ENTRENCH SILT FENCE BUT NOT FILTER TUBE.
  - INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED, OR WHEN SEDIMENT ACCUMULATES TO HALF THE HEIGHT OF FENCING.
  - CONFIGURE TUBES AROUND EXISTING FEATURES TO MINIMIZE SITE DISTURBANCE AND MAXIMIZE CAPTURE AREA OF STORMWATER RUN-OFF. TUBES SHALL BE PLACED PERPENDICULARLY TO STORMWATER FLOW WHERE POSSIBLE.
  - TUBES FOR COMPOST FILTERS SHALL BE JUTE MESH OR APPROVED BIODEGRADABLE MATERIAL. ADDITIONAL TUBES SHALL BE USED AT THE DIRECTION OF THE ENGINEER.
  - TAMP TUBES IN PLACE TO ENSURE GOOD CONTACT WITH SOIL SURFACE. IT IS NOT NECESSARY TO TRENCH TUBES INTO EXISTING GRADE.
  - WHEN STAKING IS NOT POSSIBLE, SUCH AS WHEN TUBES MUST BE PLACED ON PAVEMENT, HEAVY CONCRETE OR CINDER BLOCKS CAN BE USED BEHIND TUBES UP TO 5 FT. APART OR AS REQUIRED TO SECURE TUBES IN PLACE. DO NOT PUNCTURE TUBES WITH STAKES.
  - TUBES CAN BE PLACED DIRECTLY ON EXISTING PAVEMENT WHEN NECESSARY.
  - UPON COMPLETION OF PROJECT, ALL EROSION CONTROL DEVICES SHALL BE REMOVED FROM PROJECT LIMITS.

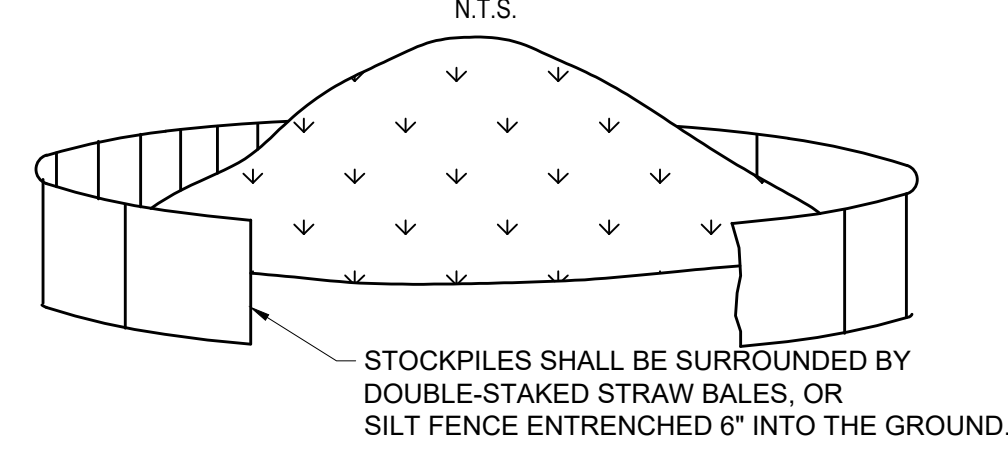
**COMPOST FILTER TUBE WITH SILT FENCE**  
N.T.S.



**MANHOLE FRAME AND COVER**  
N.T.S.

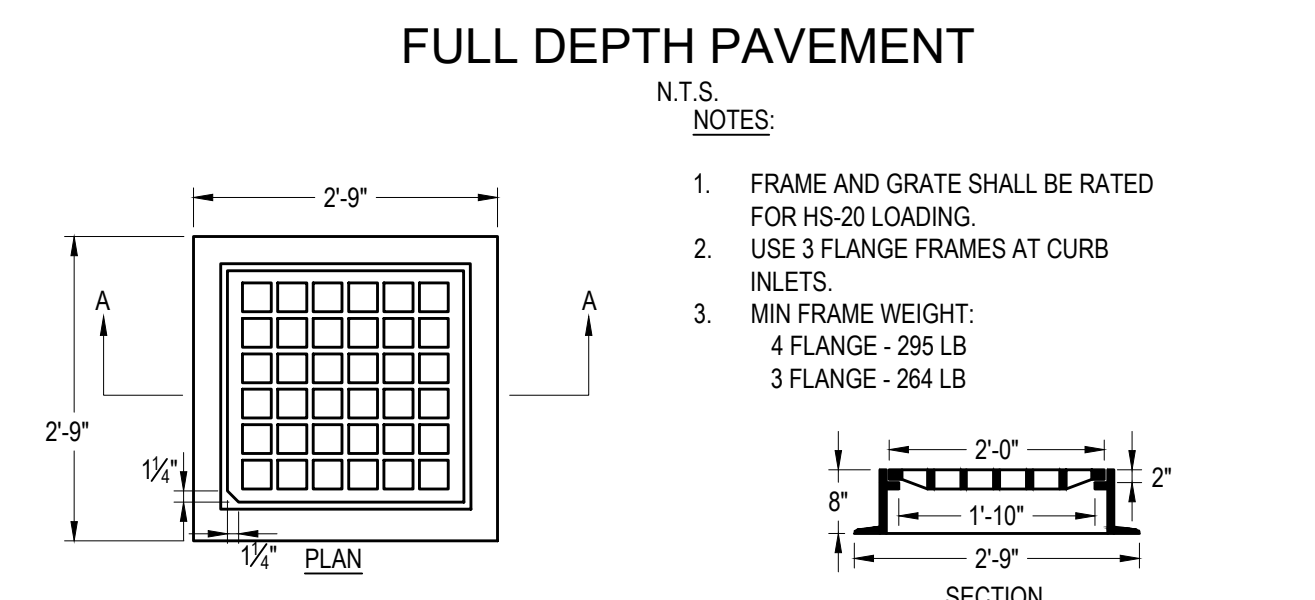
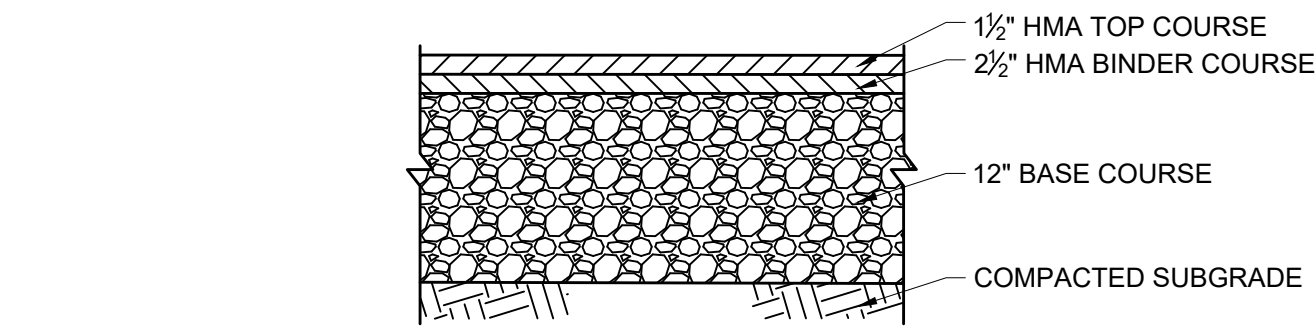


**CATCH BASIN INLET PROTECTION**  
N.T.S.

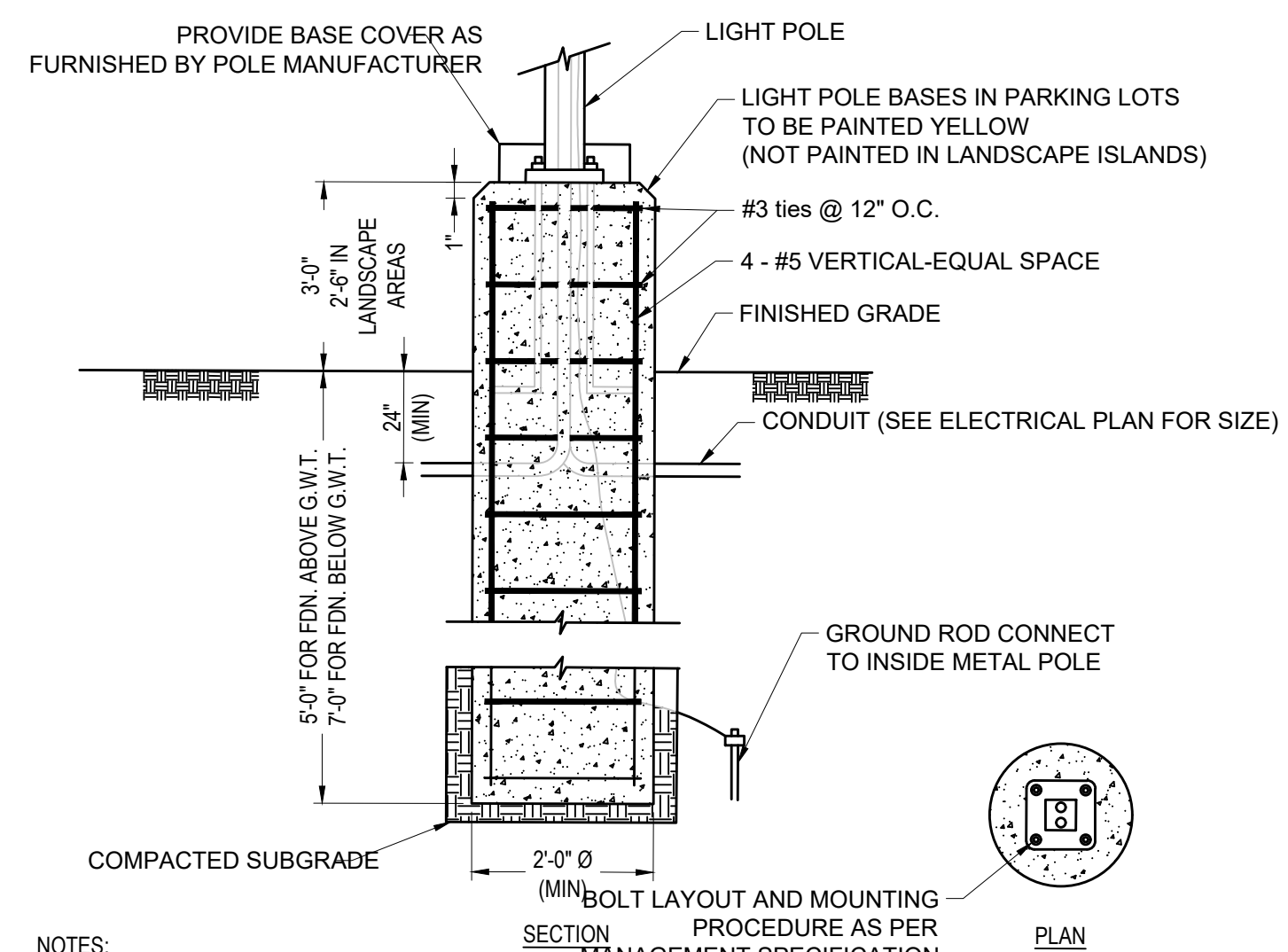


- NOTES:**
- INSTALL SILTSACK IN ALL DOWNGRADIENT EXISTING CATCH BASINS BEFORE COMMENCING WORK, AND IN NEW CATCH BASINS IMMEDIATELY AFTER INSTALLATION OF STRUCTURE. MAINTAIN UNTIL BINDER COURSE PAVING IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
  - GRATE TO BE PLACED OVER SILTSACK. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

**SOIL STOCKPILE**  
N.T.S.

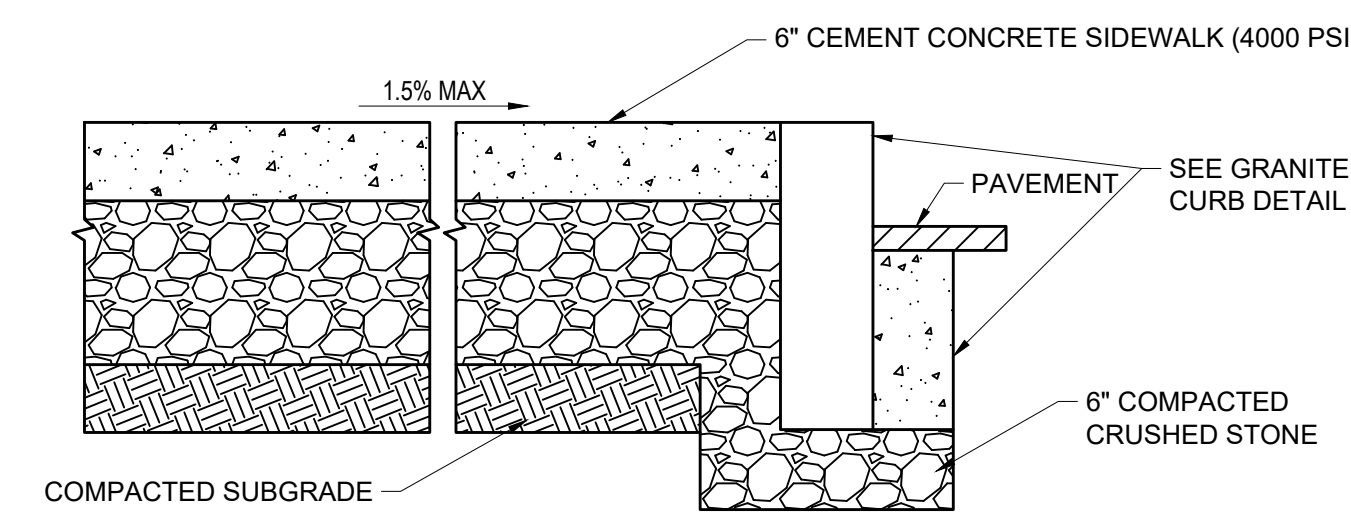


**CATCH BASIN FRAME AND GRATE**  
N.T.S.

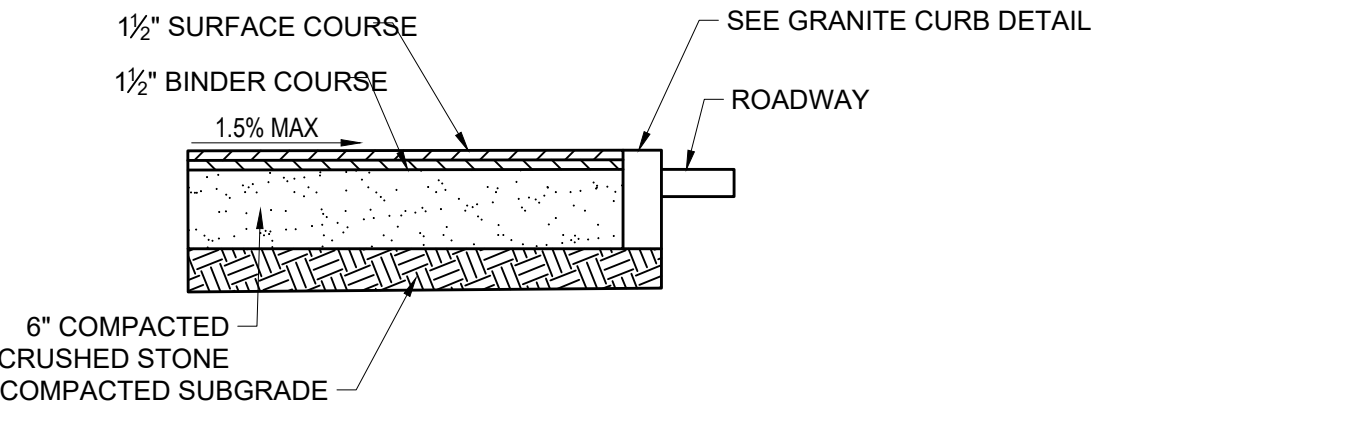


- NOTES:**
- LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

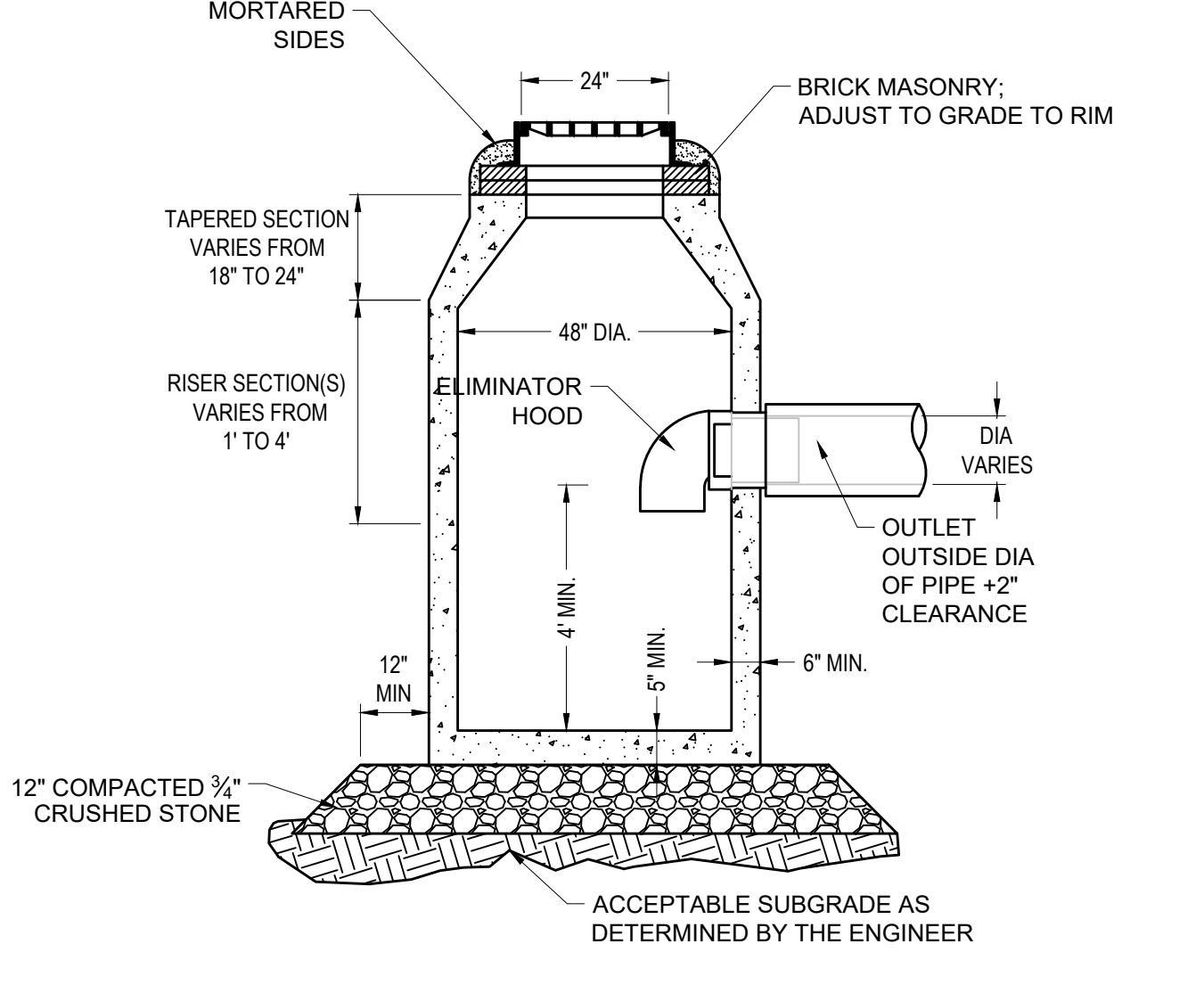
**LIGHT POLE BASE**  
N.T.S.



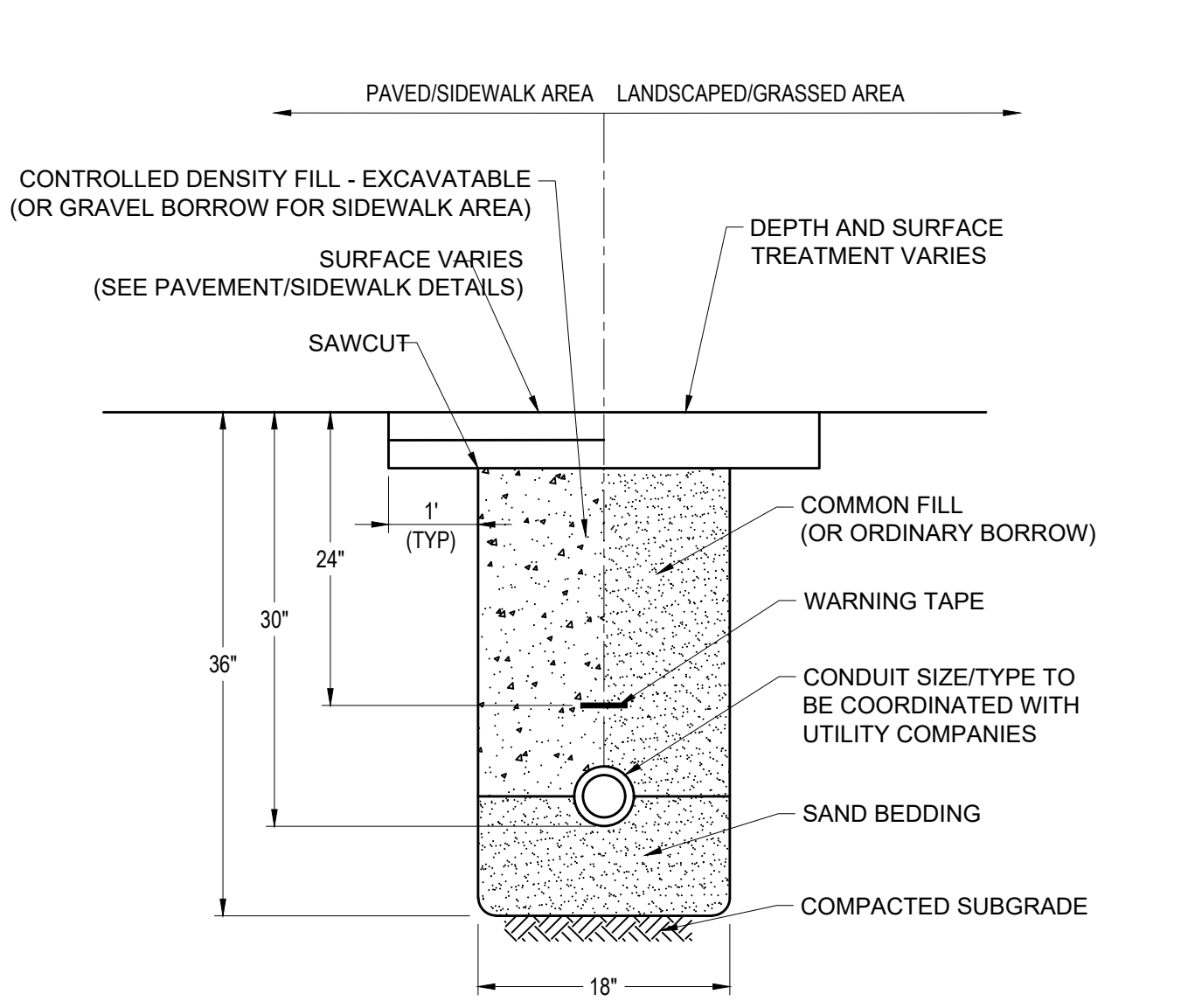
**CEMENT CONCRETE SIDEWALK**  
N.T.S.



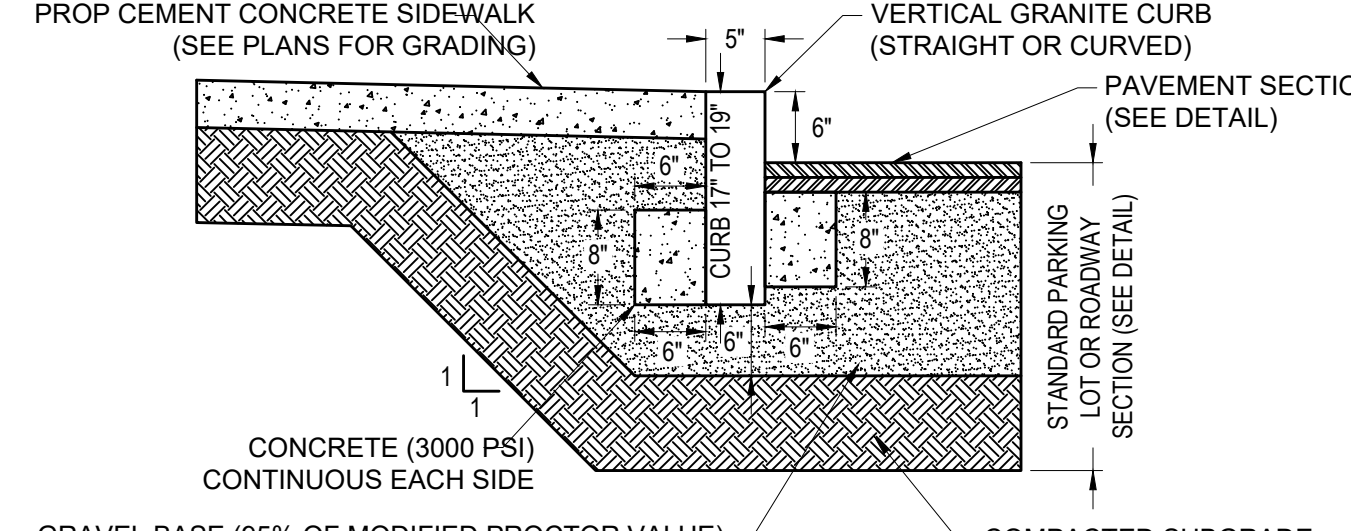
**BITUMINOUS CONCRETE SIDEWALK**  
N.T.S.



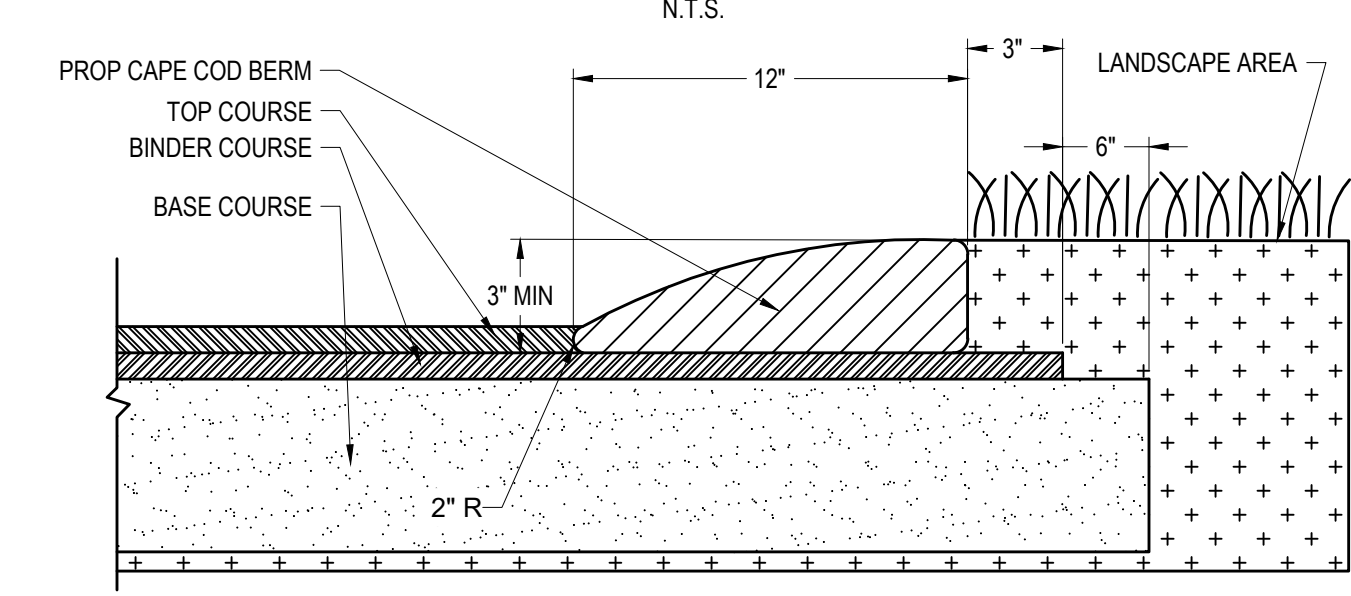
**DEEP SUMP CATCH BASIN WITH HOOD**  
N.T.S.



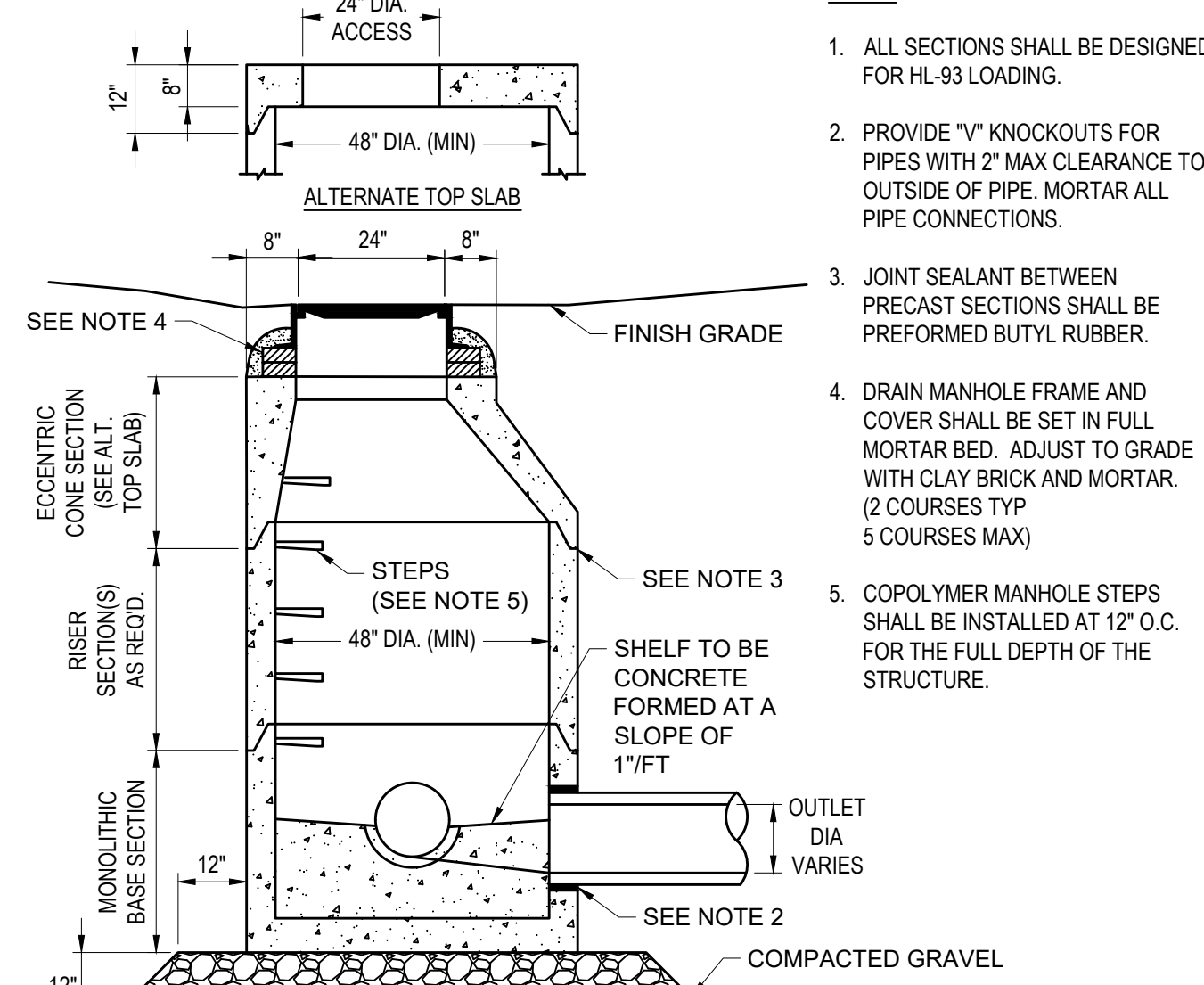
**CONDUIT TRENCH**  
N.T.S.



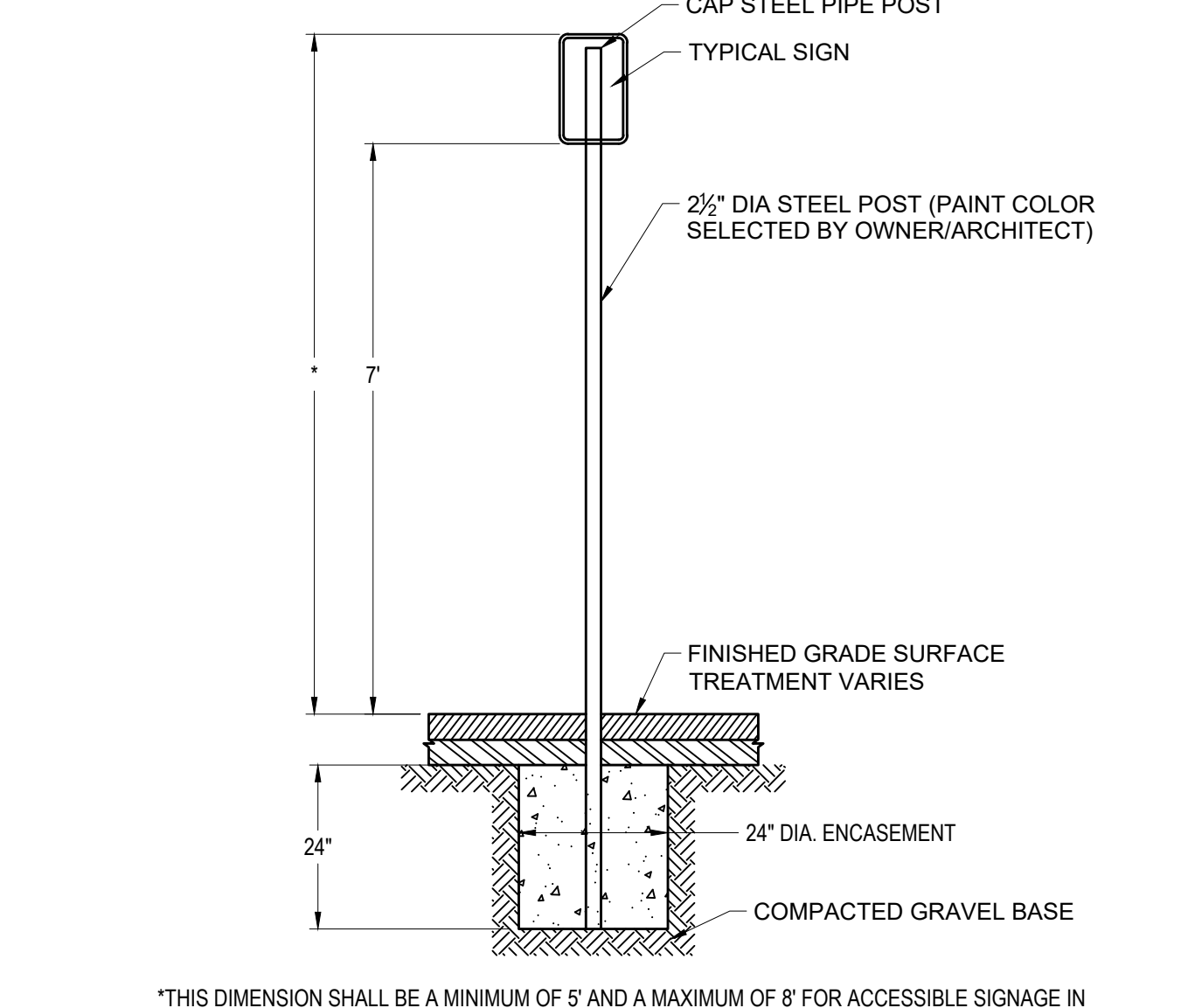
**VERTICAL GRANITE CURB (VGC)**  
N.T.S.



**CAPE COD BERM**  
N.T.S.

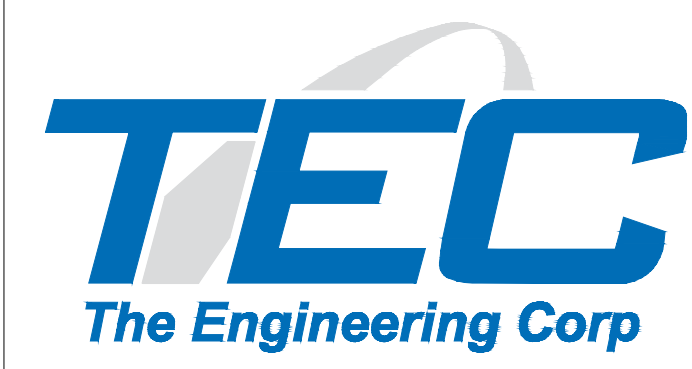


**DRAINAGE MANHOLE**  
N.T.S.



**SIGN POST**  
N.T.S.

\*THIS DIMENSION SHALL BE A MINIMUM OF 5' AND A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE IN THE COMMONWEALTH OF MASSACHUSETTS.



TEC, Inc.  
282 Merrimack Street  
2nd Floor  
Lawrence, MA 01843  
978-794-1792

169 Ocean Blvd  
PO Box 249  
Hampton, NH 03842  
603-601-8154

311 Main Street  
2nd Floor  
Worcester, MA 01608  
508-868-5104

www.TheEngineeringCorp.com

DESIGNED BY SNL  
DRAWN BY SNL  
CHECKED BY PFE  
DATE 12/15/2023  
SCALE N.T.S.

PREPARED FOR  
**Town of Groveland  
Highway Department  
183 Main Street  
Groveland, MA 01834**

ISSUED FOR  
**Permitting**

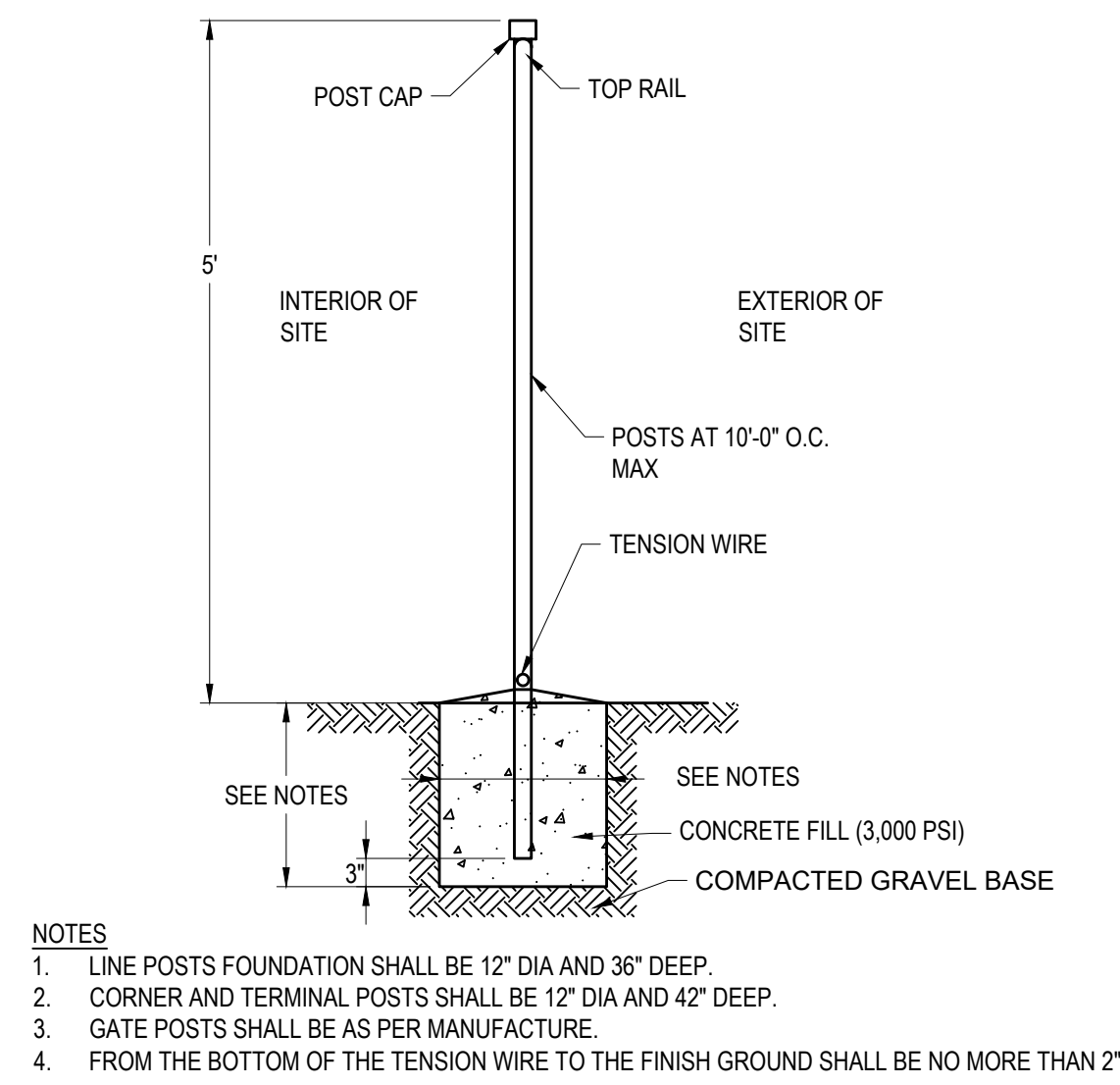
PROJECT TITLE  
**Shanahan Field**

PROJECT LOCATION  
**423 Main Street  
Groveland, MA**

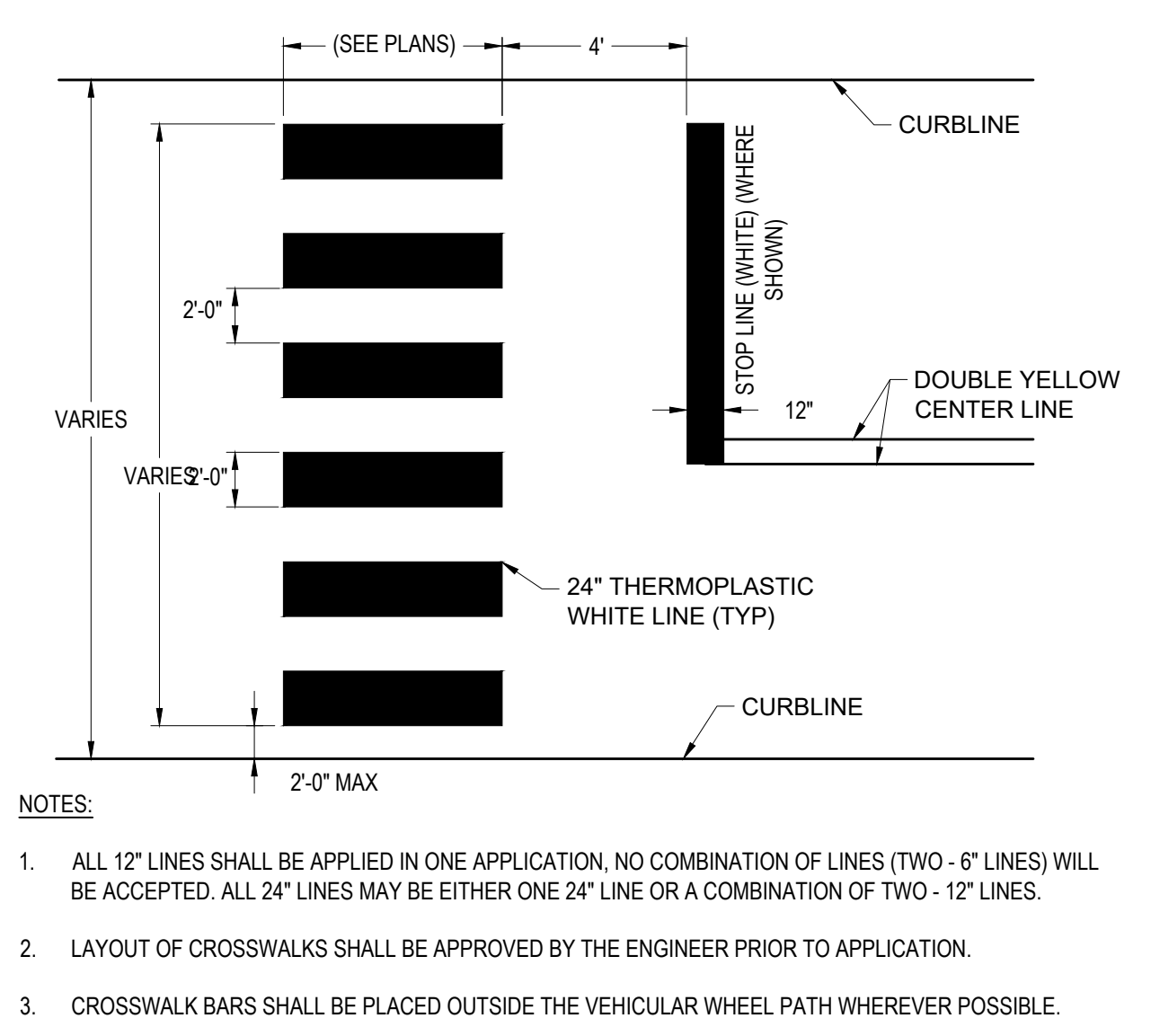
DRAWING TITLE  
**Construction Details**

PROJECT NO.  
TEC CAD FILE  
Shanahan\_Details  
DRAWING NO.  
**C-5**  
SHEET 5 OF 6

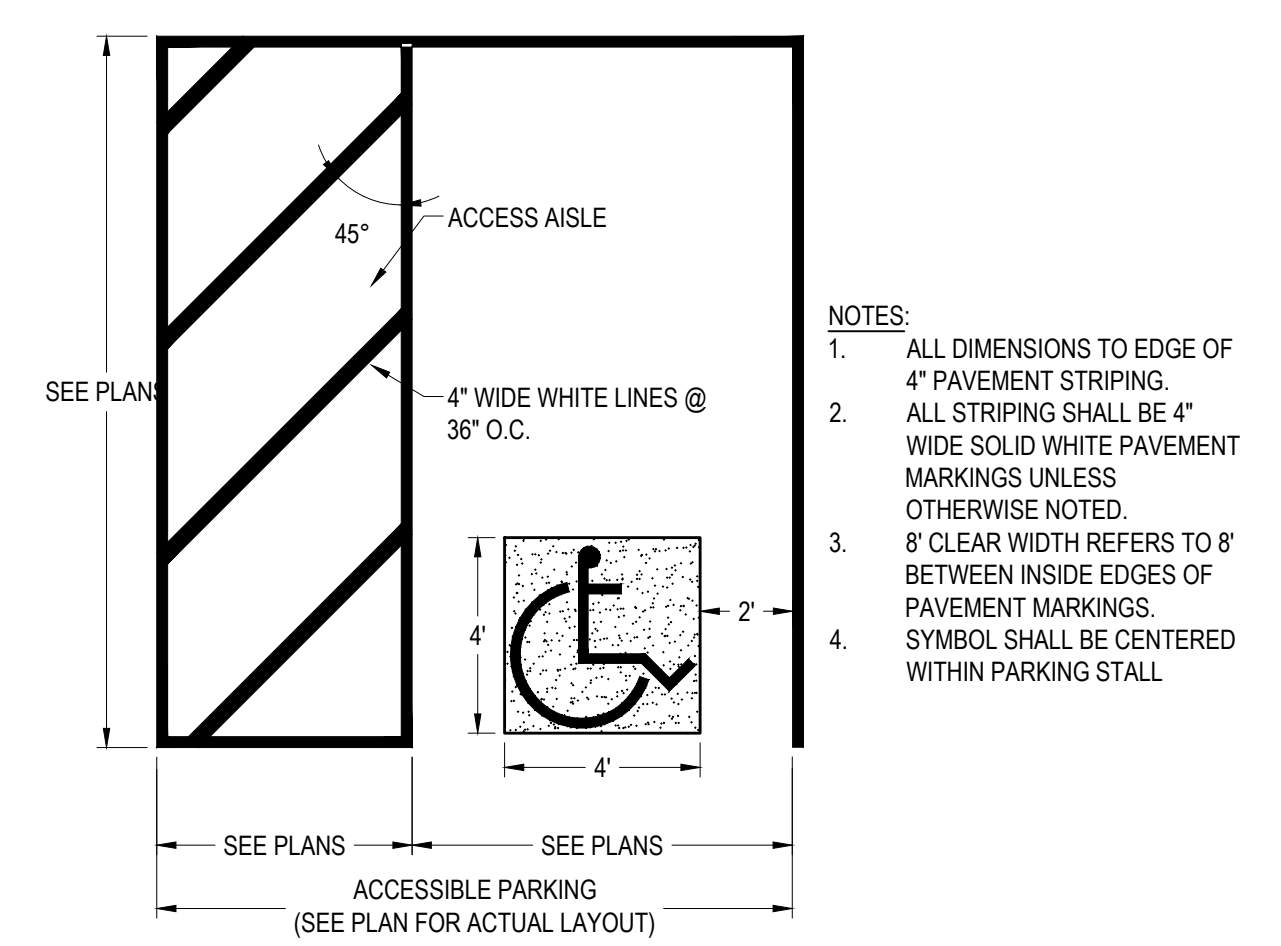
NOT FOR CONSTRUCTION



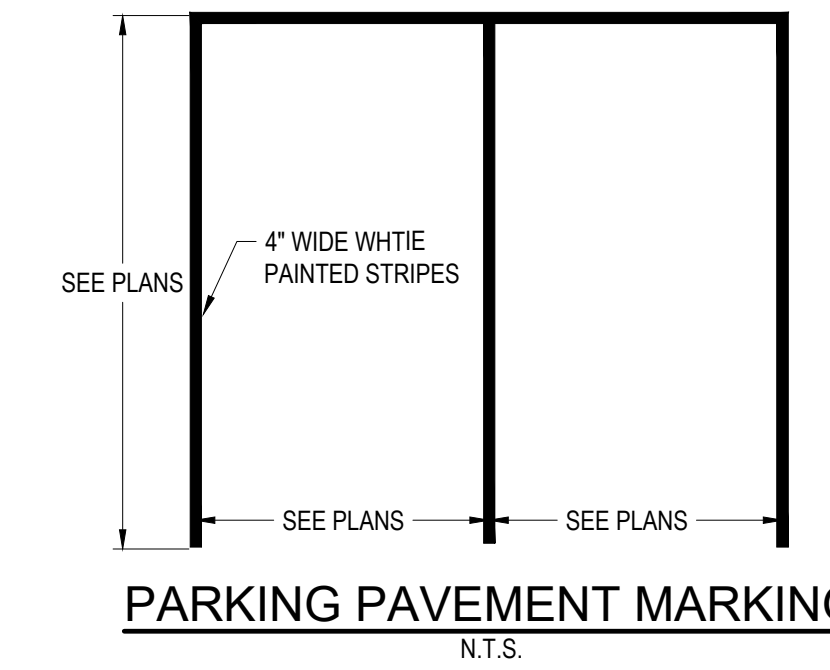
**INTERIOR FENCE**  
N.T.S.



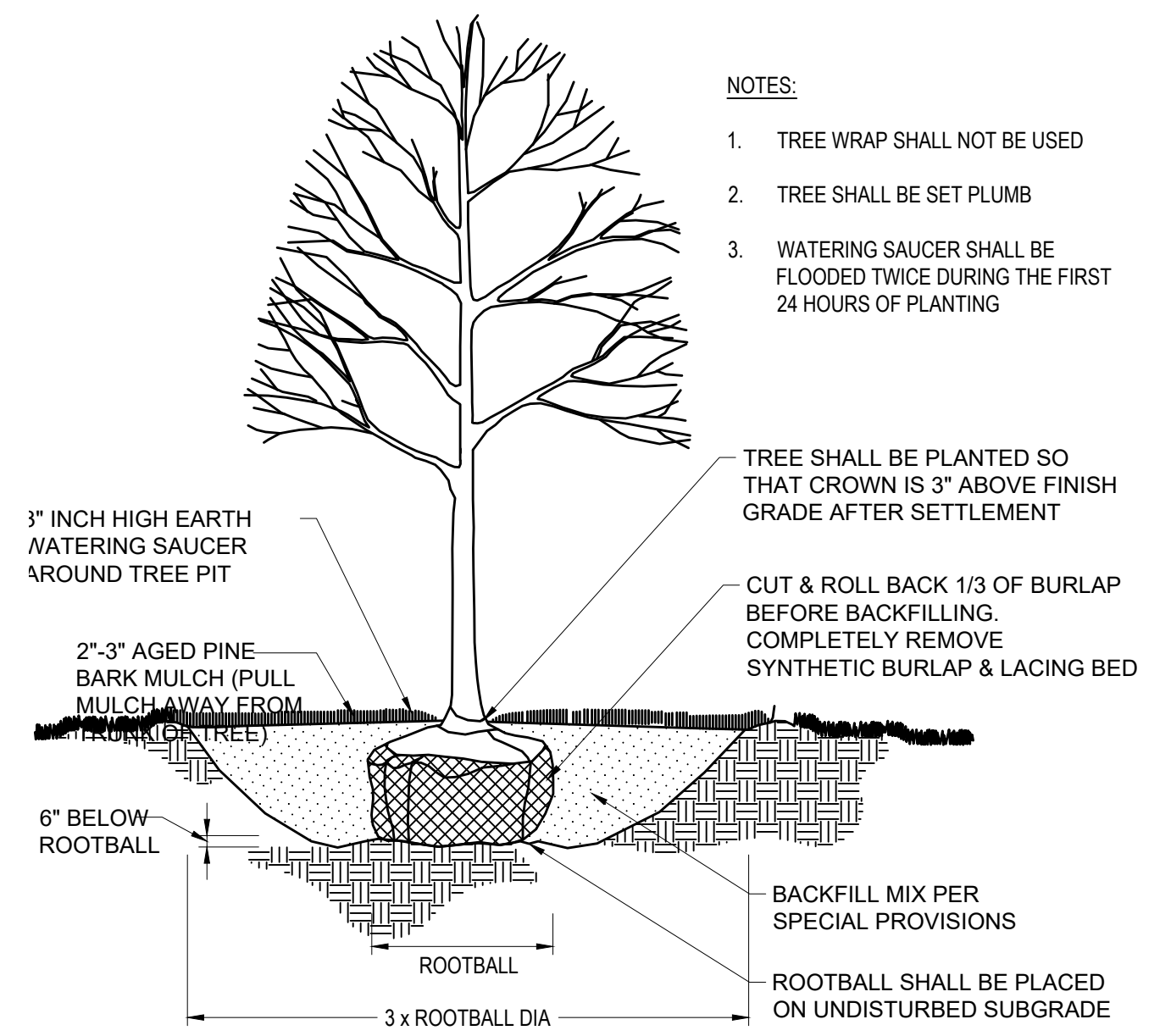
**CROSSWALK PAVEMENT MARKING**  
N.T.S.



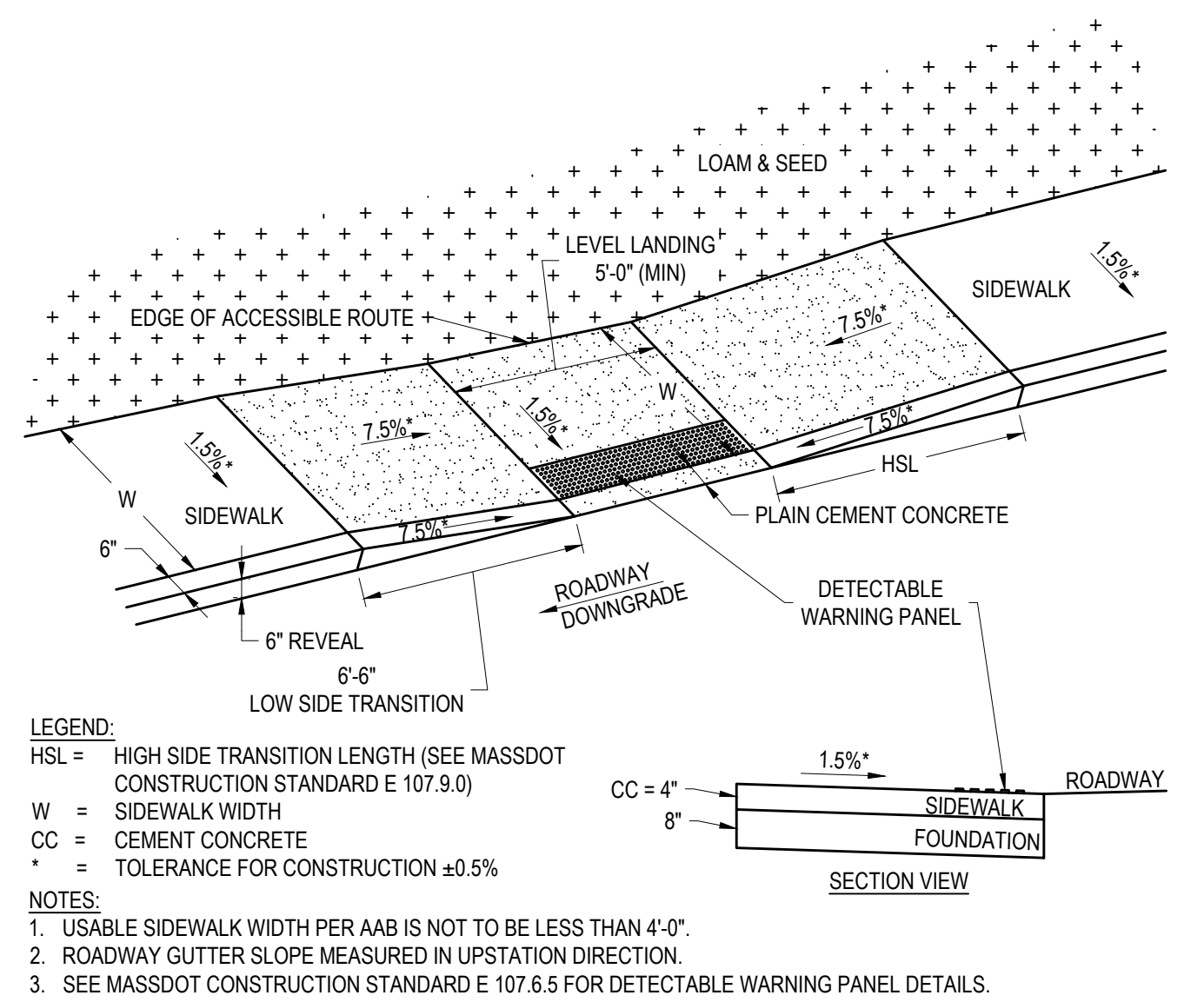
**ACCESSIBLE PARKING SPACE**  
N.T.S.



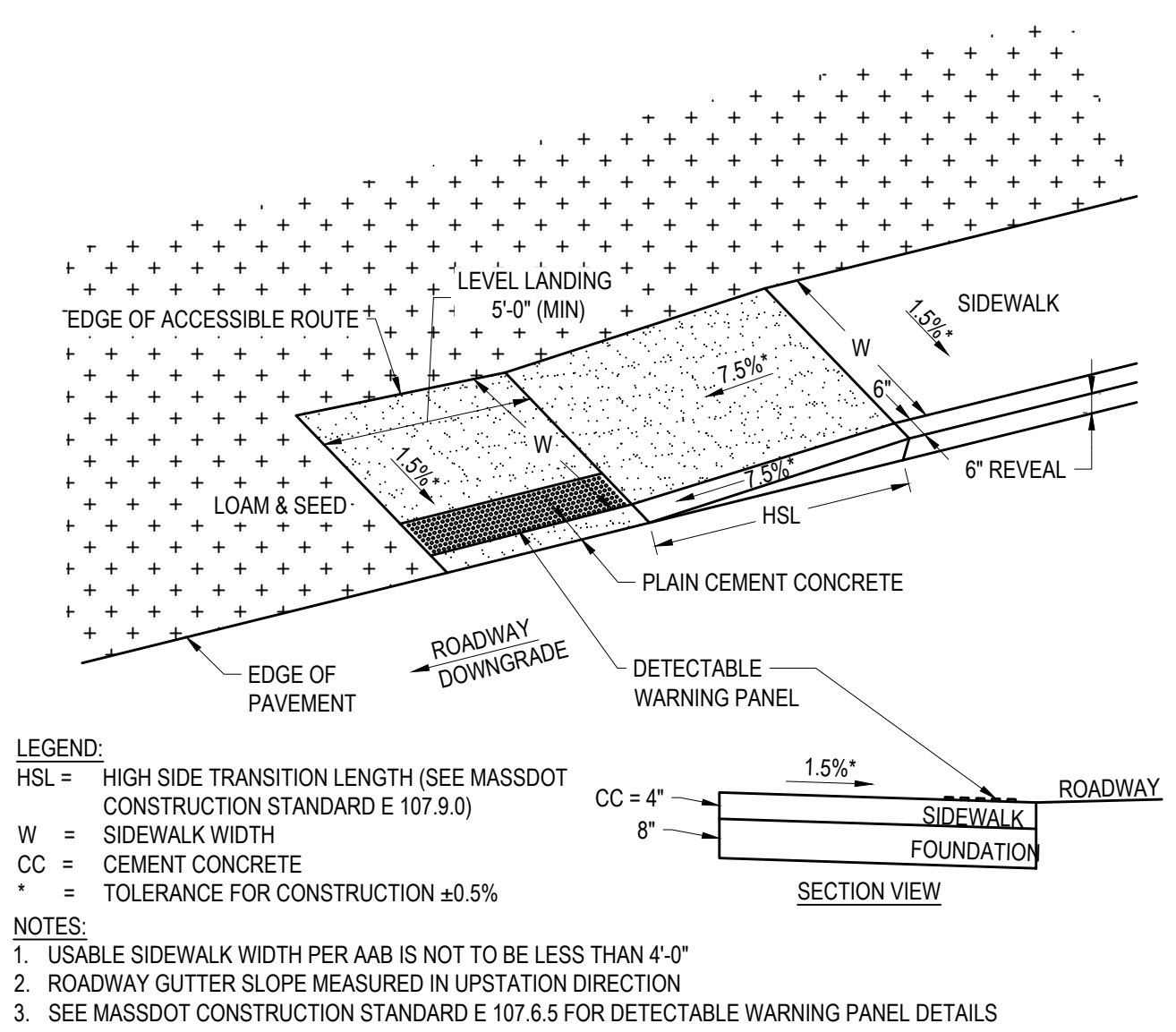
**PARKING PAVEMENT MARKING**  
N.T.S.



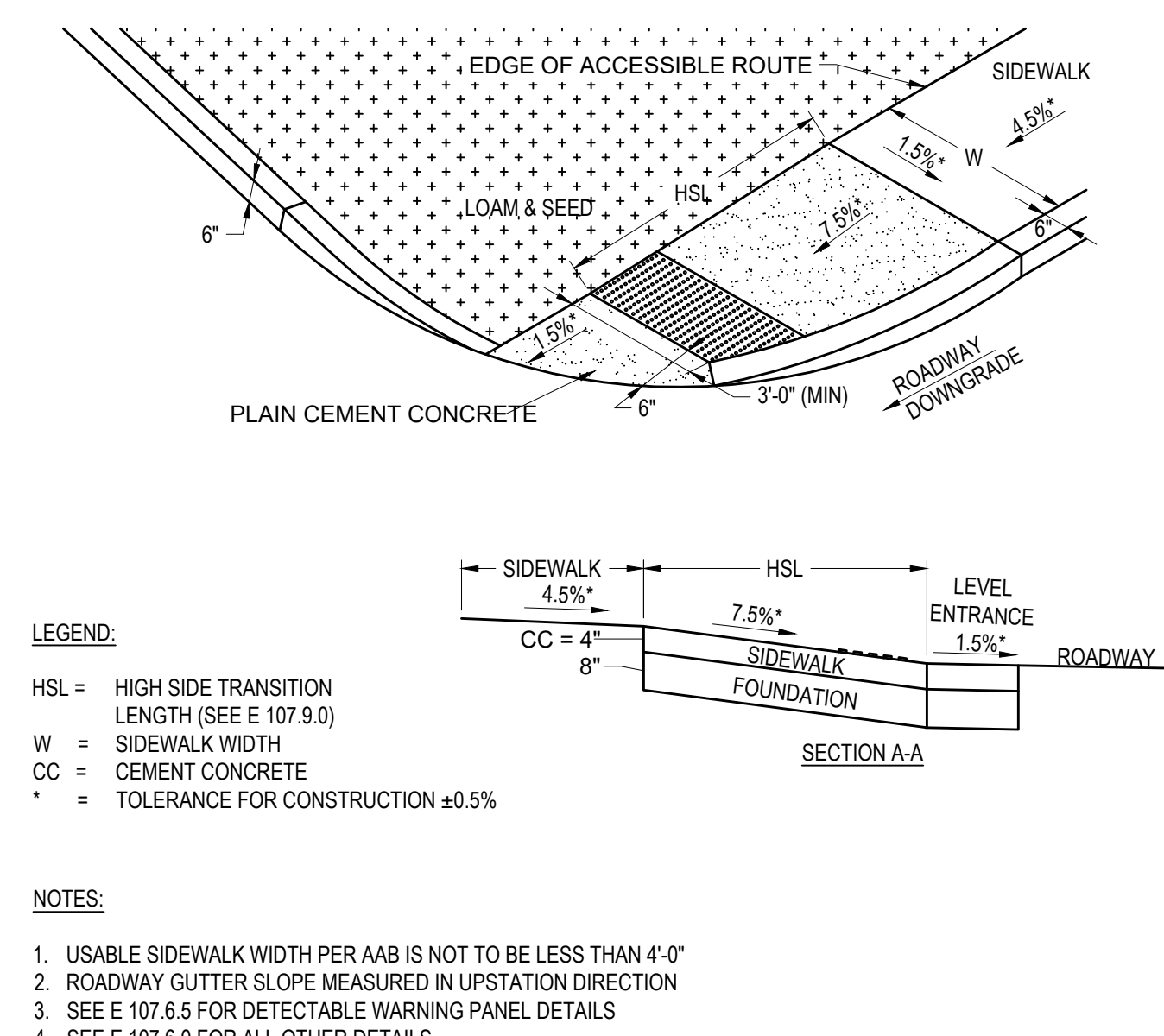
**DECIDUOUS TREE PLANTING**  
N.T.S.



**WHEELCHAIR RAMP**  
N.T.S.



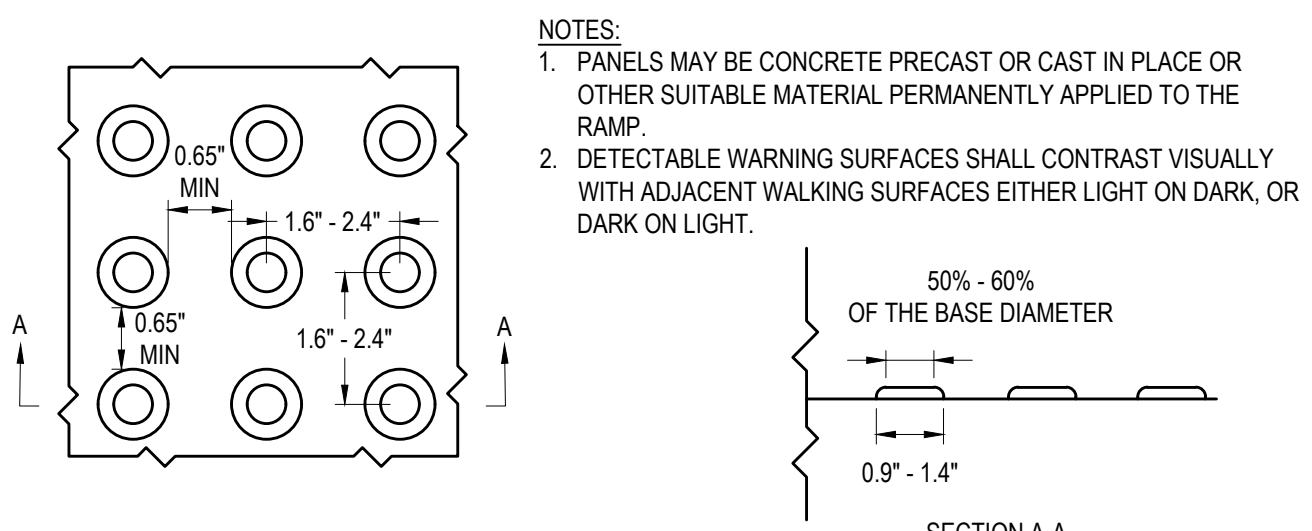
**WHEELCHAIR RAMP**  
N.T.S.



**WHEELCHAIR RAMP**  
N.T.S.

- WHEELCHAIR RAMP NOTES:**
1. MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE DESIGNED TO 4.5% ±0.5% (7.5% ±0.5% FOR CURB RAMPS)
  2. A MINIMUM OF 3'-0" CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  3. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
  4. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  5. WHERE ACCESSIBLE ROUTES ARE LESS THAN 8' IN WIDTH (EXCLUDING CURBING) A 5x5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FT.
  6. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY.
  7. DETECTABLE WARNING PANELS ARE REQUIRED ON ALL OF THE PROPOSED WHEELCHAIR RAMPS AND ARE TO BE INSTALLED IN ACCORDANCE WITH CONSTRUCTION STANDARD E 107.6.5 (JUNE 2014). CONTRACTOR SHALL PROVIDE 6" BETWEEN DETECTABLE WARNING PANEL AND EDGE OF CONCRETE WHERE IT ABUTS LOAM & SEED.
  8. WHEELCHAIR RAMP SLOPES AND CROSS SLOPES SHALL HAVE A CONSTRUCTION TOLERANCE OF ±0.5%.
  9. DETECTABLE WARNING PANELS SHALL BE BRICK RED OR YELLOW IN COLOR AS APPROVED BY THE LOCAL DPW.

**WHEELCHAIR RAMP NOTES**  
N.T.S.



**DETECTABLE WARNING PANEL**  
N.T.S.



TEC, Inc.  
282 Merrimack Street  
2nd Floor  
Lawrence, MA 01843  
978-794-1792

169 Ocean Blvd  
PO Box 249  
Hampton, NH 03842  
603-601-8154

311 Main Street  
2nd Floor  
Worcester, MA 01608  
508-868-5104

www.TheEngineeringCorp.com

DESIGNED BY	SNL
DRAWN BY	SNL
CHECKED BY	PFE
DATE	12/15/2023
SCALE	N.T.S.

PREPARED FOR  
**Town of Groveland  
Highway Department  
183 Main Street  
Groveland, MA 01834**

REVISIONS	
ISSUED FOR	<b>Permitting</b>

PROJECT TITLE  
**Shanahan Field**

PROJECT LOCATION  
**423 Main Street  
Groveland, MA**

DRAWING TITLE  
**Construction Details**

PROJECT NO.	
TEC CAD FILE	Shanahan_Details
DRAWING NO.	<b>C-6</b>
SHEET	6 OF 6

## CONSTRUCTION COST ESTIMATE

**DATE:** 12/15/2023

**DESCRIPTION:** Shanahan Field Parking Lot

**LOCATION:** Shanahan Field, Main St, Groveland

**ESTIMATOR:** SNL

**TEC PROJ. #:** P2023

**DESIGN STAGE:** CONCEPT

**CHECKED BY:** PFE

SPEC	ITEM	DESCRIPTION	UNIT	UNIT PRICE	QTY	TOTAL
	103	TREE REMOVED - DIAMETER UNDER 24 INCHES	EA	\$2,200.00	7	\$15,400.00
	104	TREE REMOVED - DIAMETER 24 INCHES AND OVER	EA	\$4,100.00	3	\$12,300.00
	120.1	UNCLASSIFIED EXCAVATION	CY	\$65.00	750	\$48,750.00
	151	GRAVEL BORROW	CY	\$60.00	1700	\$102,000.00
	156	CRUSHED STONE	TON	\$65.00	95	\$6,175.00
	170	FINE GRADING AND COMPACTING - SUBGRADE AREA	SY	\$9.50	4210	\$39,995.00
	201	CATCH BASIN	EA	\$6,250.00	7	\$43,750.00
	202	MANHOLE	EA	\$5,900.00	5	\$29,500.00
	220.3	DRAINAGE STRUCTURE CHANGE IN TYPE	EA	\$1,400.00	1	\$1,400.00
	221	FRAME AND COVER	EA	\$1,400.00	12	\$16,800.00
	241.12	12 INCH REINFORCED CONCRETE PIPE	FT	\$140.00	475	\$66,500.00
	443	WATER FOR ROADWAY DUST CONTROL	MGL	\$100.00	40	\$4,000.00
	450.23	SUPERPAVE SURFACE COURSE - 12.5 (SSC - 12.5)	TON	\$275.00	405	\$111,375.00
	450.31	SUPERPAVE INTERMEDIATE COURSE - 12.5 (SIC -12.5)	TON	\$173.00	535	\$92,555.00
	452	ASPHALT EMULSION FOR TACK COAT	GAL	\$10.00	245	\$2,450.00
	453	HMA JOINT SEALANT	FT	\$1.50	90	\$135.00
	470	HOT MIX ASPHALT BERM, TYPE A	TON	\$275.00	10	\$2,750.00
	482.3	SAWCUTTING ASPHALT PAVEMENT	FT	\$5.00	365	\$1,825.00
	504	GRANITE CURB TYPE VA4 - STRAIGHT	FT	\$70.00	35	\$2,450.00
	509	GRANITE TRANSITION CURB FOR WHEELCHAIR RAMPS - STRAIGHT	FT	\$75.00	20	\$1,500.00
	509.1	GRANITE TRANSITION CURB FOR WHEELCHAIR RAMPS - CURVED	FT	\$95.00	27	\$2,565.00
*	656	72 INCH VINYL PRIVACY FENCE	FT	\$150.00	80	\$12,000.00
*	697.1	SILT SACK	EA	\$275.00	7	\$1,925.00
	701	CEMENT CONCRETE SIDEWALK	SY	\$85.00	35	\$2,975.00
	701.2	CEMENT CONCRETE WHEELCHAIR RAMP	SY	\$120.00	5	\$600.00
	748	MOBILIZATION	LS	\$20,000.00	1	\$20,000.00
	751	LOAM BORROW	CY	\$95.00	15	\$1,425.00
	765	SEEDING	SY	\$4.00	165	\$660.00
	767.121	SEDIMENT CONTROL BARRIER	FT	\$10.00	1050	\$10,500.00
	776.556	MAPLE - RED - RED SUNSET 8-10FT	EA	\$650.00	14	\$9,100.00
	804.2	2 INCH ELECTRICAL CONDUIT TYPE NM - PLASTIC (UL)	FT	\$50.00	400	\$20,000.00
*	812.99	LED LIGHT POLE	EA	\$8,000.00	6	\$48,000.00
	852	SAFETY SIGNING FOR TRAFFIC MANAGEMENT	SF	\$25.00	13	\$325.00
	864.04	PAVEMENT ARROWS AND LEGENDS REFLECTORIZED WHITE (THERMOPLASTIC)	SF	\$11.00	200	\$2,200.00
*	866.104	4 INCH REFLECTORIZED WHITE LINE (THERMOPLASTIC)	SF	\$2.00	2500	\$5,000.00
	866.112	12 INCH REFLECTORIZED WHITE LINE (THERMOPLASTIC)	FT	\$6.00	110	\$660.00
*	877.4	SIGN POST 2 - 1/2 INCH STEEL	EA	\$600.00	5	\$3,000.00

**SUBTOTAL =** \$742,545.00  
**ENGINEERING =** \$70,000.00  
**10% CONTINGENCY =** \$74,254.50

**TOTAL =** \$886,799.50



# Groveland Police Department



**JEFFREY T. GILLEN**  
*Chief of Police*

181 MAIN STREET  
Groveland, MA 01834

Tel. (978) 521-1212  
Fax (978) 374-7676

[jgillen@grovelandpolice.com](mailto:jgillen@grovelandpolice.com)

December 21, 2023

Groveland Community Preservation Committee  
183 Main Street  
Groveland, MA 01834

RE: Application for a Parking Lot at Shanahan Field

Dear Mr. Dempsey,

Please find this letter as a show of support from the Groveland Police Department for the application to design and create a parking lot at Shanahan Field. Currently, there is no delineated parking at the field which creates a dangerous situation during the youth soccer season, and other times when the fields are in use.

Most event visitors park along Main Street which creates a hazardous situation for several reasons. With this roadway being narrow children are stepping out of their vehicles into the roadway. The sidewalk passage is compromised by parked vehicles which force pedestrians into the roadway and the traffic flow on Main Street is disturbed. The current parking situation is not conducive to the ever-growing traffic flow and the increased popularity or attraction to the Shanahan Field.

We are hopeful that the Town will receive this grant to improve this important resource. If you have any questions or require any further information, please do not hesitate to reach out.

Sincerely,

Jeffrey T. Gillen  
Chief of Police