Parking and Access to the Shanahan Recreational Fields

Applicant Information

Name of Applicant: Rebecca Oldham, Town Administrator Name of Co-Applicant, if applicable: Annie Schindler

Contact Name: Rebecca Oldham

Mailing Address: 183 Main St, Groveland

Phone: 9778.556.7204

Email Address: roldham@grovelandma.com

Location of Project

Name of Project: Parking Creation at Shanahan Fields

Address of Project (or Assessor's parcel ID): 423 Main Street, Groveland

Funding Information

CPA Category (include all that apply):

Open Space Historic Preservation

Recreation X

Community Housing

Project Cost

CPA Funding Requested: \$886,800

Total Cost of Proposed Project: \$886,800

Project Information

1. Description

Shanahan Field is primarily used by Groveland Youth Soccer, where parking is limited on site, forcing parents and children to park on the street, creating a dangerous traffic situation. This project proposes



to create designated parking and improve the vehicular circulation at the site to provide a safer environment for recreational field users. It also includes drainage, landscaping, and lighting.

The project was before Town Meeting in 2023 but was tabled because there was some confusion as to a civil dispute between neighbors. The property line dispute is between the neighbors and not the Town and the project does not propose to interfere with that dispute. The current plan takes into account the Knox House and its use by the Historical Society. It also allows us to expand further towards Rivers Edge in the future, if needed.

2. Goals

The goal is to provide safe access and parking for our recreational facilities.

3. Community Need

The site is the former location of the Shanahan School. The designated parking area is limited to the old school turnaround, which is unlined and not suitable for parking. With the existing layout, residents are forced to park on a busy street, and occasionally and unintentionally block the residential driveways along Main Street. Presently, there is no designated handicap parking, and the Town's Open Space and Recreation Plan specifically notes this as an issue. It also calls for improving general access to Shanahan Field. The creation of proper parking would improve the safety of residents and children who use the fields for soccer and other passive recreation opportunities along the Merrimack River. Soccer field parking can be grouped into three functions, each with different parking demands: practice (parking demand of about 15 vehicles per field), games/tournaments (parking demand of about 60 vehicles per field), and regional qualifying tournaments with non-local teams (parking demand of about 70-90 vehicles per field). It also needs to take into consideration games that are scheduled back-to-back and those leaving the field and those arriving at the field. The Soccer Association tries to limit this impact through scheduling, but it cannot always be avoided. The parking lot must have adequate circulation in between aisles to accommodate traffic that is leaving and arriving. It also must provide better ADA access throughout the site.

Additionally, this parking lot will provide designated parking near the newly completed Community Trail, which is .13 miles away and connected through the existing sidewalk. There are future parking spaces planned near the trail entrance at Main Street, but this does offer another parking opportunity to those already looking to walk and/or bike. But it is also important to leverage connections through existing infrastructure like trailways, complete streets and other multi-modal systems to provide easy access for bicyclists and pedestrians who visit the facility.

Lastly, parking on the sidewalk currently is illegal. See the below except from Section § 355-15(B) of the general bylaw.

General parking prohibitions.

No person shall park a vehicle in any of the following places. Vehicles found in violation of the provisions of this section may be issued a violation tag, moved by or under the direction of a police officer, or both. If moved or towed, the moving or towing shall be at the expense of the owner.

A parking lot that is completely located within the site must be created, to make sure people will not continue to illegally park on the sidewalks adjacent to the property.

4. Community Support

This will directly benefit Groveland Youth Soccer, Groveland residents who use Shanahan Field, and those live in the area or travel through the area. This will also encourage the use of the fields and enhance activity at the site. Most notably it will provide parking for those who wish to access the trail along the Merrimack River and the Community Trail. The Comprehensive Master Plan survey found that residents would like the Town to focus on enhancing our current recreational locations and making them more accessible. This is also supported by surrounding neighbors who struggle during the soccer season with parking up and down Main Street, blocking access to driveways and vehicles that crowd the roadway. This project is also supported by public safety officials.

5. Timeline

The project will begin as soon as funding is available and will be coordinated around the use of the fields to limit impact. The engineer will finalize the plan and estimate and provide documents to put the project out to bid. A contractor will be awarded the contract and begin the work. The design engineer will oversee construction and ensure the project is constructed per plan.

6. Implementation

The project will be managed by Rebecca Oldham, Town Administrator, and Renny Carroll, Highway Superintendent. Both will be responsible for providing updates and status reports to the Committee. The engineering firm will perform construction monitoring.

7. Success Factors

The success of this project would be measured by reviewing the project scope, evaluating project specifications, analyzing the project budget, and reviewing use of the parking lot.

The newly designated parking area will accommodate those who use the field, but also ensure that the driveways along Main Street do not get blocked and field users can safely access the site. Success will additionally be measured by the decrease in street parking along Main Street during the soccer season.

8. Budget

See attached estimate. This includes full scale engineering.

9. Other Funding / Matching

N/A

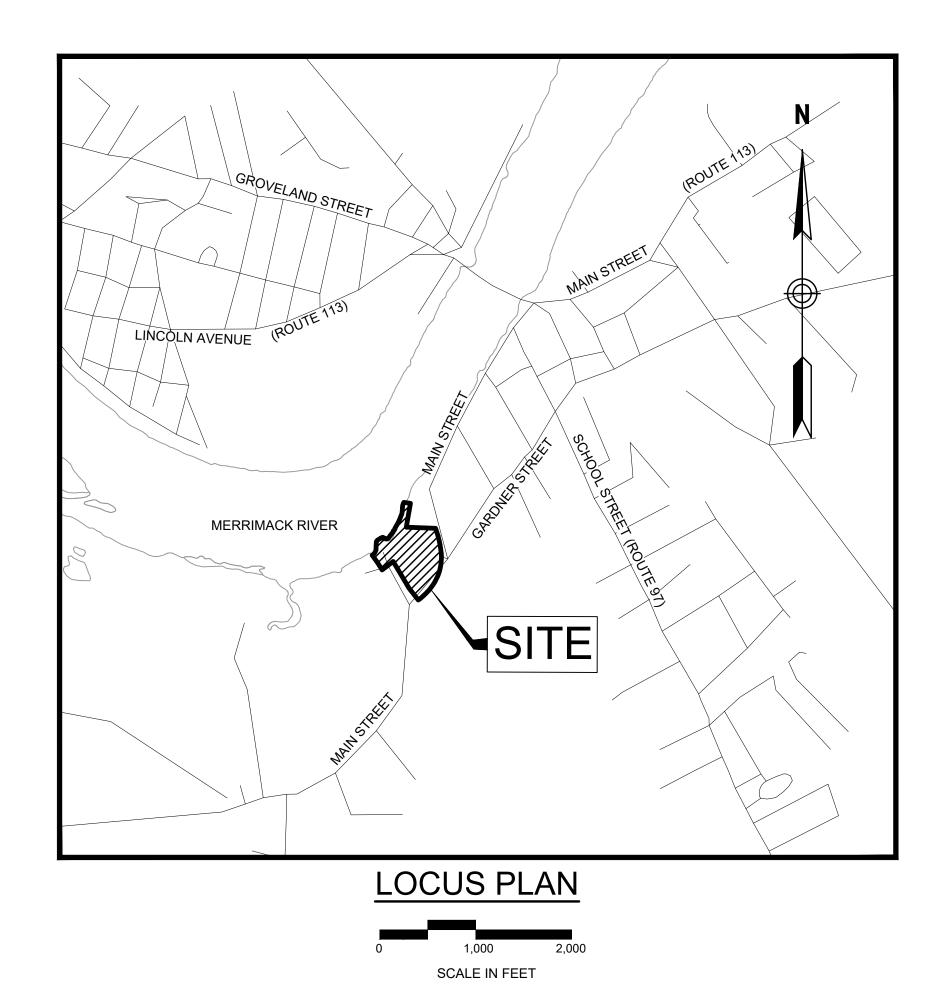
10. Maintenance

Ongoing maintenance will be to maintain drainage and landscaping. This is currently the responsibility of the Highway Department with assistance from the youth leagues. The new parking lot will require the same partnership.

Shanahan Field Site Plans 423 Main Street Groveland, MA

Site Plans Index				
No.	Drawing Title	Latest Issue		
C-1	Title & Index Sheet	December 15, 2023		
C-2	Legend & General Notes	December 15, 2023		
C-3	Erosion Control & Demolition Plan	December 15, 2023		
C-4	Construction Plan	December 15, 2023		
C-5	Construction Details	December 15, 2023		
C-6	Construction Details	December 15, 2023		

Reference	Plans Index	
No.	Drawing Title	Latest Issue





282 Merrimack Street 2nd Floor Lawrence, MA 01843 978-794-1792

169 Ocean Blvd PO Box 249 Hampton, NH 03842 603-601-8154

311 Main Street 2nd Floor Worcester, MA 01608

DESIGNED BY	SNL
DRAWN BY	SNL
CHECKED BY	PFE
DATE	12/15/2023
SCALE	AS NOTED

Town of Groveland Highway Department 183 Main Street Groveland, MA 01834

ISSUED FOR

Shanahan Field

Permitting

PROJECT LOCATION

423 Main Street Groveland, MA

DRAWING TITLE Title & Index Sheet

PROJECT NO.

TEC CAD FILE Shanahan_Cover C-1

SHEET 1 OF 6

GENERAL NOTES

- 1. CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND THE LOCAL MUNICIPAL WATER & SEWER DEPT. AT LEAST 72 HOURS BEFORE EXCAVATING.
- 2. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. A 6-FOOT TEMPORARY CHAINLINK FENCE SHALL BE PROVIDED AROUND ALL CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL LEAVE NO UNSECURED OPEN EXCAVATIONS.
- 4. HANDICAP ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT/ARCHITECTURAL ACCESS BOARD (ADA/AAB), AND WITH STATE AND LOCAL LAWS AND
- REGULATIONS (WHICHEVER ARE MORE STRINGENT). 5. WORK WITHIN THE RIGHT-OF-WAY MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DEPARTMENT, HIGHWAY DIVISION, AND/OR STATE DOT HIGHWAY DEPARTMENT.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS. AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS. SIDEWALK. AND FIRE HYDRANTS. WITHOUT APPROPRIATE PERMITS.
- 7. WHEN APPLICABLE, OWNER/ OPERATOR MUST FILE THE NOI FOR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN). THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING CONSTRUCTION OPERATIONS (IF PROVIDED).
- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT EDITION OF

9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR SHALL BE

- THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER. 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN
- BE TAKEN. 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND
- SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS. 12. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF-SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO THE OWNER.
- 13. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY TEC, IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
- 14. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION.
- 15. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE PROFESSIONAL OF RECORD AND TEC THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY.

GENERAL DRAINAGE & UTILITY NOTES

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES.
- 2. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 3. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT. FAILURE TO PROVIDE OR PERFORM THE ABOVE PRIOR TO PERFORMING ANY WORK SHALL NOT BE GROUNDS FOR EXTRA PAYMENTS TO THE CONTRACTOR
- 4. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS, AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES, AND JOINTS.
- 5. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
- 6. UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED.
- 7. INSTALL ALL UTILITIES (INCLUDING CONCRETE PADS) PER UTILITY COMPANY, DPW, AND STATE STANDARDS.
- 8. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST COMPLY WITH APPLICABLE
- REQUIREMENTS AND SPECIFICATIONS. THE PROFESSIONAL OF RECORD AND TEC ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS. 9. EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.
- 10. DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S), WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK.
- 11. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

- 16. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME.
- 17. CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
- 18. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND TEC, IN WRITING, IF ANY CONFLICTS DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING THE PROFESSIONAL OF RECORD AND TEC WRITTEN NOTIFICATION OF SAME AND (B) PROFESSIONAL OF RECORD AND TEC, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
- 19. ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.
- 20. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
- 21. WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL WIDTHS DO NOT REPRESENT THE ACTUAL WIDTH OF THE PROPOSED WALL, RATHER THEY ARE AN ASSUMPTION BASED ON WALL TYPE AND WALL HEIGHT. WALL FOOTINGS AND /OR FOUNDATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER, AND MUST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT AN APPROPRIATELY LICENSED PROFESSIONAL DESIGNS ALL WALLS SHOWN HEREON AND PRIOR TO CONSTRUCTION.
- REFER TO GRADING NOTES REGARDING RETAINING WALL DESIGN. 22. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
- 23. THE CONTRACTOR MUST REPAIR, AT THE CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND MUST BEAR ALL COSTS ASSOCIATED WITH THE SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES. LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY. IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

12. ALL WORK ASSOCIATED WITH UTILITY POLES, OVERHEAD WIRES AND ANY/ALL

13. ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED.

REVIEW AND APPROVAL BY THE APPROPRIATE UTILITY COMPANIES.

APPROVAL BY THE FIRE DEPARTMENT OR BUILDING INSPECTOR.

INSTALLATION SPECIFICATIONS AND STANDARDS

FINISH SUBGRADE AND/OR SURFACE PAVING.

PROJECT.

FINISHED GRADE.

OTHERWISE.

AUTHORITY.

OWNER.

ARCHITECTURAL PLANS.

APPURTENANCES SHALL BE COORDINATED BY THE GC WITH THE LOCAL UTILITY

GUY WIRES, OVERHEAD WIRES, ETC. AS MAY BE REQUIRED TO ACCOMMODATE THE

14. INSULATE SANITARY PIP.ES WHERE INVERT DEPTH IS LESS THAN FIVE (5) FEET BELOW

15. CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY

THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO

ORIGINAL CONDITION (AT NO ADDITIONAL COST TO THE OWNER) BY THE CONTRACTOR.

16. STORM AND SANITARY PIPE LENGTHS INDICATED ARE NOMINAL AND ARE MEASURED FROM

CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS INDICATED ON THE PLANS

SPECIFICATIONS, DETAILS, RULES AND REGULATIONS AND HAVE FIVE (5) FEET OF MINIMUM

17. ALL WATER AND SEWER UTILITY WORK SHALL CONFORM TO LOCAL DPW, WATER DIVISION

COVER. GAS, ELECTRIC, AND TELEPHONE LOCATIONS AND ROUTING ARE SUBJECT TO

TELEPHONE, CABLE TV, ETC., MUST BE INSTALLED UNDERGROUND. ALL NEW UTILITY

SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER

CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED UPON FINAL

REVEGETATION OF DISTURBED AREAS AND AFTER APPROVAL BY THE LOCAL APPROVING

22. EXCAVATION REQUIRED IN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY

STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE

23. THE CONTRACTOR SHALL SCHEDULE THEIR WORK TO ALLOW THE FINISHED SUBGRADE

ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO

REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM

ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE

24. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND

25. GAS METERS MUST BE PROTECTED AS REQUIRED BY THE JURISDICTIONAL GAS PROVIDER.

SPECIFICATIONS OF THE LOCAL WATER COMPANY. IN THE ABSENCE OF SUCH

CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE

APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR

18. UNLESS INDICATED OTHERWISE, ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC,

19. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE

20. FIRE ALARM CONNECTION LOCATIONS AND ROUTING ARE SUBJECT TO REVIEW AND

21. THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL BARRIERS AFTER

COMPANIES PRIOR TO THE ORDERING OF ANY MATERIALS. THIS MAY INCLUDE BUT IS NOT

LIMITED TO THE REMOVAL, INSTALLATION, RELOCATION OR PROTECTION OF ANY BRACING,

FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO

- 24. WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN TEC'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, TEC WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND TEC HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. TEC WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS ANY DOCUMENT. DOCUMENTING TEC'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT TEC HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. TEC IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO TEC'S ATTENTION. TEC IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- 25. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE PROFESSIONAL OF RECORD AND TEC FOR ALL DEVIATIONS WITHIN THE PROFESSIONAL OF RECORD'S AND TEC SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND TEC PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME.
- 26. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S
- 27. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
- 28. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO.

ABBREVIATIONS

PAVEMENT

RADIUS

REMOVE

REMODEL

REMOVE AND RESET

REMOVE AND STACK

SQUARE FEET

TOP OF SLOPE

TOP OF STAIRS TOP OF RAMP **TYPICAL**

SOLID WHITE LINE

SLOPED GRANITE CURB

UNLESS OTHERWISE NOTED

VERTICAL GRANITE CURB

WHEELCHAIR RAMP

SIDEWALK

RETAIN

PVMT

REM

RET

R&R

R&S

SGC

TOS

TS

WCR

REMOD

	ADDITEVIATIONS		
GENERAL ABAN AC ADJ APPROX BB BIT BLDG BND BO BOS BS CC CCB CCH CIT CONC CLF CIT CONC CW DIA ELEV EOP EX FFE FND FDC GC	ABANDON ACRES ADJUST APPROXIMATE BITUMINOUS CONCRETE BERM BITUMINOUS BUILDING HIGHWAY/PROPERTY BOUND BY OTHERS BOTTOM OF SLOPE BOTTOM OF STAIRS BOTTOM OF RAMP CONCRETE CURB CEMENT CONCRETE BERM CEMENT CURB INLET CHAIN LINK FENCE CHANGE IN TYPE CONCRETE CROSSWALK DIAMETER ELEVATION EDGE OF PAVEMENT EXISTING FIRST FLOOR ELEVATION FOUNDATION FIRE DEPT. CONNECTION	UTILITIE ACCMP AD BC CB CAP CIT CIDI COND DCB DIP DMH ETC F&G F&C FES GG HDPE HH HYD INV OHW PVC PWW RCP RIM	ASPHALT COATED CORRUGATED METAL PIPE AREA DRAIN BOTTOM OF CHANNEL CATCH BASIN CORRUGATED ALUMINUM PIPE CABLE TELEVISION CAST IRON PIPE CHANGE IN TYPE CEMENT LINED DUCTILE IRON CONDUIT DOUBLE CATCH BASIN DUCTILE IRON PIPE DRAINAGE MANHOLE ELECTRIC, TELEPHONE, & CABLE FRAME AND GRATE FRAME AND COVER FLARED END SECTION GAS GATE HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HYDRANT INVERT ELEVATION OVERHEAD WIRE POLYVINYL CHLORIDE PIPE PAVED WATER WAY REINFORCED CONCRETE PIPE (CLASS III) RIM ELEVATION
EX	EXISTING	PVC	POLYVINYL CHLORIDE PIPE
FND	FOUNDATION	RCP	REINFORCED CONCRETE PIPE (CLASS III)
GE HMA LA	GRANITE EDGING HOT MIX ASPHALT LANDSCAPE AREA	TD TFMR TSV	TRENCH DRAIN TRANSFORMER TAPPING SLEEVE AND VALVE
LF MAX MCC MGC	LINEAR FEET MAXIMUM MONOLITHIC CONCRETE CURB MOUNTABLE GRANITE CURB	UP VCP WG WSO	UTILITY POLE VITRIFIED CLAY PIPE WATER GATE WATER SHUT OFF
MIN NTS PCC	MINIMUM NOT TO SCALE PRECAST CONRETE CURB	ALIGNM	ENT/GRADING
PROP	PROPOSED	CC	CENTER OF CURVE

POINT OF CURVE

POINT OF TANGENT

POINT

PNT

PΤ

POINT OF COMPOUND CURVE

POINT OF INTERSECTION

POINT OF REVERSE CURVE

GENERAL SYMBOLS

EXISTING	PROPOSED	
		CATCH BASIN
		SILT SACK WITHIN CATCH BASIN
		DOUBLE CATCH BASIN DRAIN MANHOLE
S	● ⑤	SEWER MANHOLE
© (3)	69	COMBINED SEWER MANHOLE
ÓW	(w)	OIL WATER SEPARATOR
E	E	ELECTRIC MANHOLE
	\Box	TELEPHONE MANHOLE
	©	CATV MANHOLE
OT	o	UNKNOWN STRUCTURE
НH	HH	HANDHOLE
B	•	BOLLARD
wg	wG °	WATER GATE
wŝo	wso	WATER SHUT OFF
ĠĠ	•	FIRE HYDRANT GAS GATE
GG	ĞĞ ———	STREET SIGN
		WALL MOUNTED SIGN
*	★	LIGHT POLE
		WALL MOUNTED LIGHT
0	Ĉ.	UTILITY POLE
0-	O -	GUY POLE
MW	MW	GUY WIRE
MW		MONITORING WELL
TP-3	TP#	TEST PIT (W/ I.D.)
	\bigoplus	AREA DRAIN
\bigcirc	\bigcirc	DRAINAGE CLEANOUT
PIV	PIV	POST INDICATOR VALVE
<u> </u>	<u>EOP</u>	EDGE OF PAVEMENT
MCC	MCC	MONOLITHIC CONCRETE CURB
VGC GE	VGC GE	GRANITE CURB GRANITE EDGING
BB	BB	BITUMINOUS BERM
		GUARD RAIL - WOODEN POSTS
	x	CHAIN LINK FENCE
D		DRAINAGE LINE
s	——s—	SEWER LINE
W	W	
——— G ———	——G——	
—— T ——— —— E ———	T E	TELEPHONE/CATV CONDUIT
—— OHW ——		ELECTRIC CONDUIT OVERHEAD WIRE
ONW		
		TREELINE
		FEMA ZONE X (AREA OF MINIMAL FLOOD HAZARD)
_ 38	38	MAJOR CONTOUR
38	38	
		ENTRANCE/EXIT PEDESTRIAN DOOR
		LOADING DOCK DOOR
CH	OH	OVERHEAD DOOR
		FUTURE USE ENTRANCE/EXIT PEDESTRIAN DOOR
4	4	CONCRETE PAVEMENT
· · · · · · ·		PEDESTRIAN CURB RAMP (TYPE NOTED)
		ELEVATOR
		FLARED END SECTION

The Engineering Corp

TEC, Inc.

282 Merrimack Street 2nd Floor Lawrence, MA 01843 978-794-1792

169 Ocean Blvd PO Box 249 Hampton, NH 03842 603-601-8154

311 Main Street 2nd Floor Worcester, MA 01608 508-868-5104

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DESIGNED BY	SNL
DRAWN BY	SNL
CHECKED BY	PFE
DATE	12/15/2023
SCALE	N.T.S.

Town of Groveland Highway Department 183 Main Street Groveland, MA 01834

REVISIONS		
REVIOIONO		

Permitting

ISSUED FOR

PROJECT TITLE Shanahan Field

PROJECT LOCATION 423 Main Street Groveland, MA

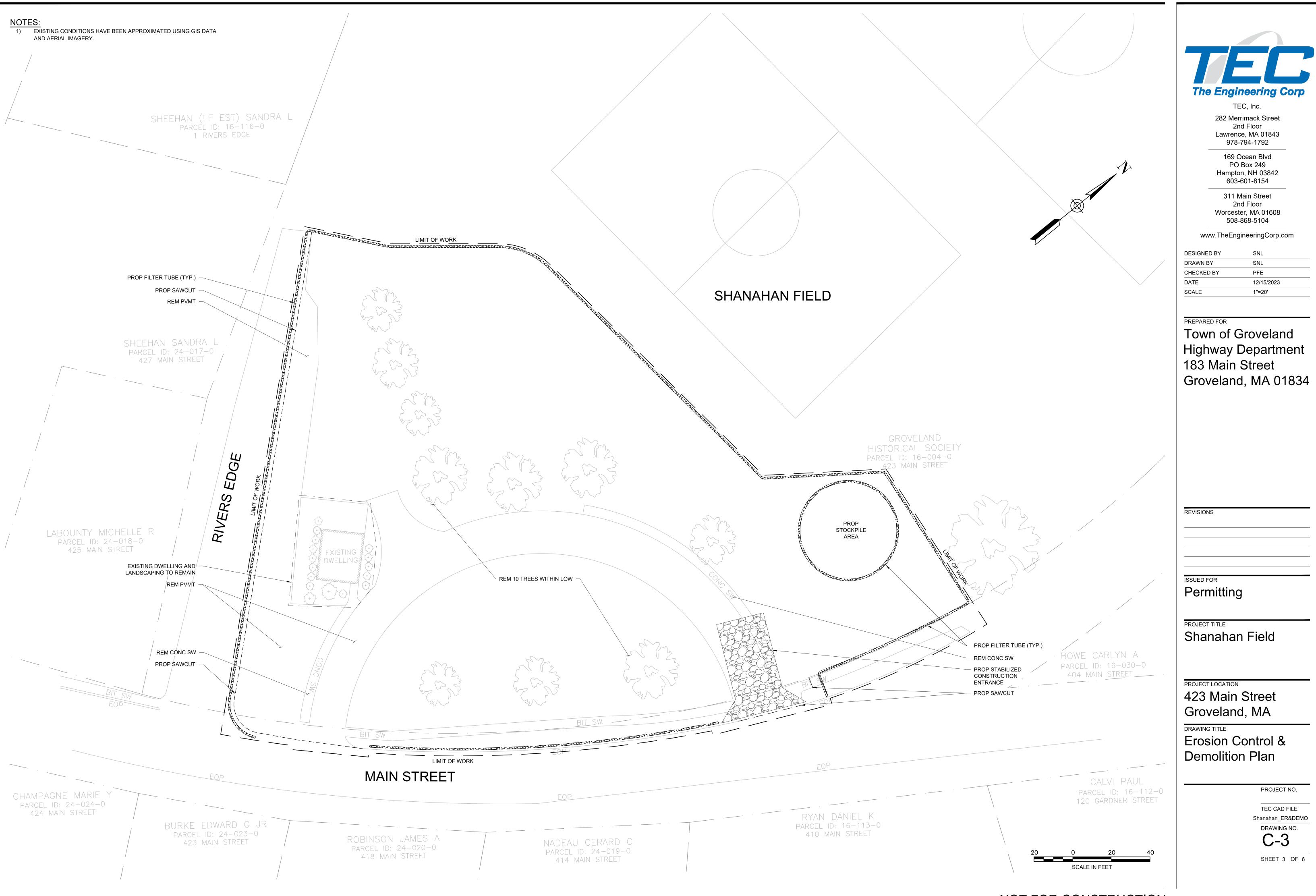
DRAWING TITLE Legend & **General Notes**

> PROJECT NO. TEC CAD FILE Shanahan_Legend DRAWING NO.

> > SHEET 2 OF 6

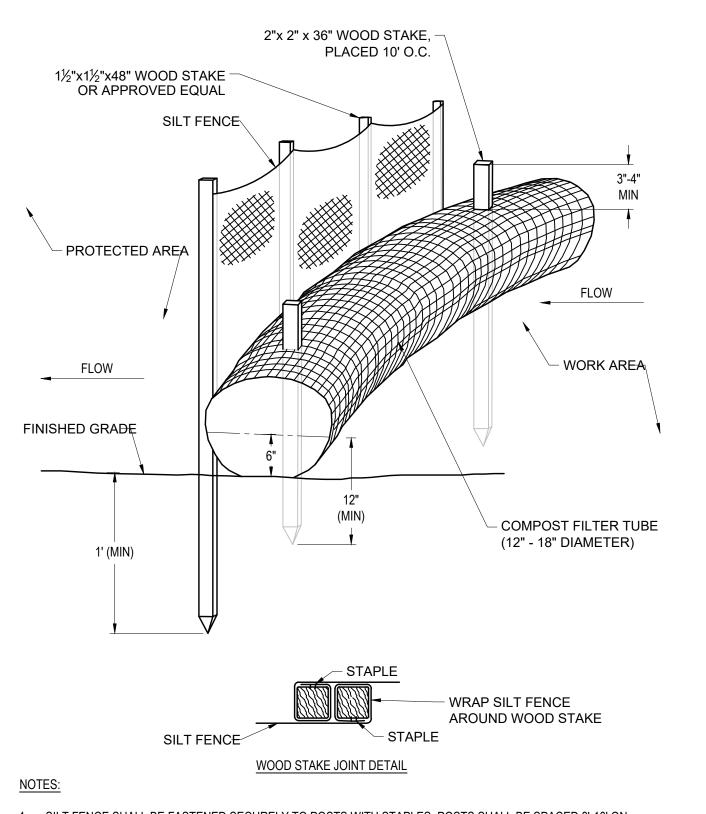
DAVENENT MADKINGS AND SIGNING SYMBOLS

PAVEMENT MARKINGS AND SIGNING SYMBOLS				
EXISTING	PROPOSED			
CW	CW	CROSSWALK, 12" WHITE LINE (WIDTH NOTED)		
SL	SL	STOP LINE, 12" WHITE LINE 4' BEHIND CW (TYP.		
SL	SWL, SWLL	SOLID WHITE LINE/SOLID WHITE LANE LINE-4"		
BWLL	BWLL	BROKEN WHITE LANE LINE-4"		
DWLL	DWLL	DOTTED WHITE LANE LINE-4"		
SYL	SYL	SOLID YELLOW LINE-4"		
DYL	DYCL	DOUBLE YELLOW CENTER LINE- 2-4" LINES		
		ADA-ACCESSIBLE PARKING SPACE		
EV	EV	ELECTRIC VEHICLE		



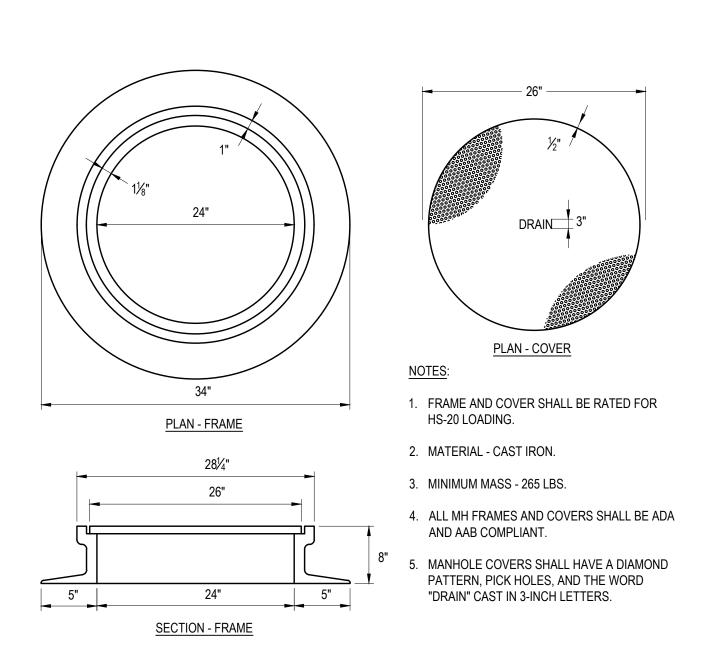
NOT FOR CONSTRUCTION

TRAFFIC SIGN SUMMARY			PLANTING SCHEDULE	NOTES:	
TIVALLIC SIGN SOMMAN	PARKING TAB	<u>LE</u>	SYMBOL QANTITY COMMON NAME SCIENTIFIC NAME	1. IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLAN AND THE NUMBER OF PLANTS IN THE PLANTING SCHEDULE, THE PLANTING	N
IDENTIFI- CATION SIZE OF SIGN (in) TEXT DIMENSIONS (in) NUMBER OF OF			14 RED MAPLE ACER RUBRUM	2. ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.	
CATION NUMBER WIDTH HEIGHT SYMBOL LETTER VERTICAL ROUTE HEIGHT SPACING MARKER REQUIRED POST		N ACCESSIBLE)	The same of the sa	3. ALL NEW PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE NOTED ON THE PLANTING SCHEDULE. 4. THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.	
TIEIGITI SPACING WARKER	PROPOSED ACCESSIBLE PARKING 4 SPACES (2 VA	N ACCESSIBLE)		5. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING, HABIT, FLOWE LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.	ER,
R1-1 30 30 STOP 1 1 1	DIMENSIONAL REQUIREMENTS REQUIRED	PROVIDED		6. ALL NEW PLANTS SHALL BE TAGGED AND APPROVED BY THE ENGINEER AT THE NURSERY PRIOR TO DIGGING OR DELIVERY TO THE SITE. 7. CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE ENGINEER.	
SIGN STANDARDS	PARKING SPACE DIMENSIONS 9'x18'	9'X20'		8. STAKE LOCATIONS OF ALL PROPOSED PLANTING FOR APPROVAL BY ENGINEER PRIOR TO THE COMMENCEMENT OF PLANTING. 9. NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. TREES SHALL BE SET 3" HIGHER	The Engineering Corp
R7-8* 12 18 MOICAPED PARKING 4 4	AISLE WIDTH (TWO WAY) 24 FT	24 FT		THAN PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. 10. ALL PLANT BEDS TO RECEIVE UN-DYED, AGED AND SHREDDED BARK MULCH AS PER SPECIFICATIONS.	TEC, Inc.
R7-8SP** 12 6 VAN 4 4				11. ALL PLANT MATERIAL SHALL BE MAINTAINED BY CONTRACTOR UNTIL FINAL ACCEPTANCE AND GUARANTEED FOR 1 CALENDAR YEAR. 12. AREAS LABELED "LA" ARE LANDSCAPED AREAS. CONTRACTOR SHOULD INCLUDE PLACEMENT OF 4" LOAM AND SEEDING WITHIN THE IDENTIFIED AREAS.	282 Merrimack Street 2nd Floor
					Lawrence, MA 01843 978-794-1792
 * HANDICAP PARKING SIGNS SHALL BE IN ACCORDANCE WITH TOWN OF GROVELAND STANDARDS AND ADA/AAB REGULATIONS 					
** VAN SIGNS SHALL BE LOCATED AT ALL ADA SPACES. PER ADA ACCESSIBILITY GUIDELINES (AME 2002) ANY SPACE WITH A VAN SIGN IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS	NDED /			A_{λ}	169 Ocean Blvd PO Box 249
					Hampton, NH 03842 603-601-8154
					311 Main Street
					2nd Floor
					Worcester, MA 01608 508-868-5104
					www.TheEngineeringCorp.com
	LIMIT OF WO	ORK BB —			
					DESIGNED BY SNL DRAWN BY SNL
PROP CB (TYP.)					CHECKED BY PFE
PROP LIGHT POLE (TYP.)	11 5 m 3	Z>,,0,			DATE 12/15/2023
PROP FULL DEPTH PAVEMENT PROP 4" WHITE PVMT STRIPING		₹ \		SHANAHAN FIELD	SCALE 1"=20'
PROP 4" WHITE PVMT STRIPING PROP LOAM & SEED					
THOSE LOT WING GLED	LA				PREPARED FOR
SHEEHAN SANDRA L .					Town of Groveland
PARCEL ID: 24-017-0 427 MAIN STREET					Highway Department
427 MAIN STREET					183 Main Street
					Groveland, MA 01834
					,
				36.8'	
				GROVELAND	
		7-0	24.0'		
				PARCEL ID: 16-004-0 423 MAIN STREET	
		20.0'			
	LA	35 20.0			
	30				
	22	30 9.0'	86 (16)		REVISIONS
	14.7' ×			PROP (4) R7-8 & R7-8SP	
LABOUNTY MICHELLE R PARCEL ID: 24-018-0 425 MAIN STREET PROP RIVERS EDGE EOP		/ T		PROP PCR	
425 MAIN STREET PROPRIVERS EDGE EOF	EXISTING DWELLING			PROP 5' CONC SIDEWALK	
	+ × ×	24.0'	24.0'		
PROP 6' PRIVACY FENCE	+ } \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \		2	24.0'	ISSUED FOR
PROP FULL DEPTH PAVED DRIVE	+		12" SL		Permitting
PROP LOAM & SEED	×			LA S S S S S S S S S S S S S S S S S S S	
		24.0'		The first of the f	PROJECT TITLE
					Shanahan Field
				PROP LIGHT POLE (TYP.) BOWE CARLYN A	
			14 LA	DARCEL ID: 16-030-	- 0
PROP DMH (TYP.) PROP TIE-IN		3		404 MAIN STREET_	PROJECT LOCATION
TO TOWN DRAINAGE >			BB W	PR1-1 5' CW	423 Main Street
EOP CIT TO DMH		LINZ LA CART	PROP.	5'CW	
		E CO CO	Bank Bank	PROP PCR	Groveland, MA
LA	BI SW				DRAWING TITLE
			FOP	PROP 5' BIT SIDEWALK	Construction Plan
	LIMIT	OF WORK	LUI	FOR	
FOP	MAIN STREE	Т		EUI	
		•		CALVI PAU PARCEL ID: 16-	
CHAMPAGNE MARIE Y PARCEL ID: 24-024-0			EOP	120 GARDNER ST	REET
424 MAIN STREET				RYAN DANIEL K	TEC CAD FILE Shanahan_Construction Plan
BURKE EDWARD G JR				PARCEL ID: 16-113-0 410 MAIN STREET	DRAWING NO.
PARCEL ID: 24-023-0 423 MAIN STREET	ROBINSON JAMES A		NADEAU GERARD C	4 IU IVIAIN SINLLI	C-4
	PARCEL ID: 24-020-0 418 MAIN STREET		PARCEL ID: 24-019-0 414 MAIN STREET		40 SHEET 4 OF 6
			TIIIVIIV OIIVEE	SCALE IN FEET	
				NOT FOR CONSTRUCT	

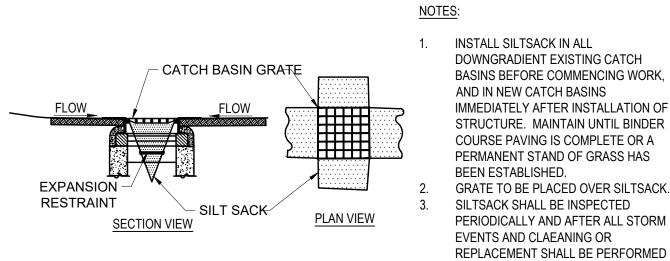


- 1. SILT FENCE SHALL BE FASTENED SECURELY TO POSTS WITH STAPLES. POSTS SHALL BE SPACED 8'-10' ON
- 2. WHEN TWO SECTIONS OF SILT FENCE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- 3. ENTRENCH SILT FENCE BUT NOT FILTER TUBE.
- 4. INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED, OR WHEN SEDIMENT ACCUMULATES TO HALF THE HEIGHT OF FENCING.
- 5. CONFIGURE TUBES AROUND EXISTING FEATURES TO MINIMIZE SITE DISTURBANCE AND MAXIMIZE CAPTURE AREA OF STORMWATER RUN-OFF. TUBES SHALL BE PLACED PERPENDICULARLY TO STORMWATER FLOW WHERE POSSIBLE.
- 6. TUBES FOR COMPOST FILTERS SHALL BE JUTE MESH OR APPROVED BIODEGRADABLE MATERIAL. ADDITIONAL TUBES SHALL BE USED AT THE DIRECTION OF THE ENGINEER.
- 7. TAMP TUBES IN PLACE TO ENSURE GOOD CONTACT WITH SOIL SURFACE. IT IS NOT NECESSARY TO TRENCH TUBES INTO EXISTING GRADE.
- 8. WHEN STAKING IS NOT POSSIBLE, SUCH AS WHEN TUBES MUST BE PLACED ON PAVEMENT, HEAVY CONCRETE OR CINDER BLOCKS CAN BE USED BEHIND TUBES UP TO 5 FT. APART OR AS REQUIRED TO SECURE TUBES IN PLACE. DO NOT PUNCTURE TUBES WITH STAKES.
- 9. TUBES CAN BE PLACED DIRECTLY ON EXISTING PAVEMENT WHEN NECESSARY
- 10. UPON COMPLETION OF PROJECT, ALL EROSION CONTROL DEVICES SHALL BE REMOVED FROM PROJECT

COMPOST FILTER TUBE WITH SILT FENCE

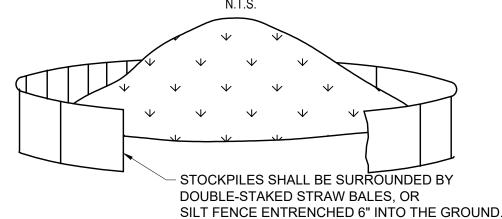


MANHOLE FRAME AND COVER



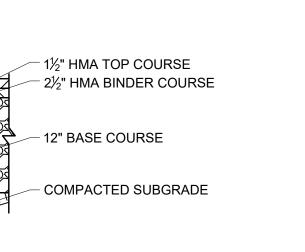
CATCH BASIN INLET PROTECTION

PROMPTLY AS NEEDED.

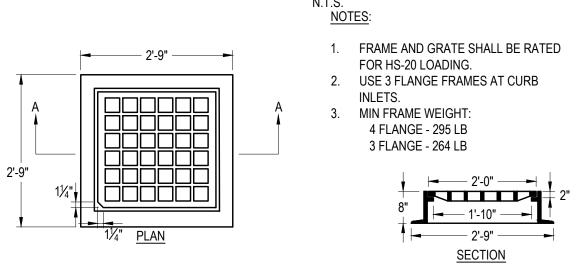


NOTES: SOIL STOCKPILES SHALL BE COVERED WITH ANCHORED TARPS AND THE END OF EACH WORK DAY.

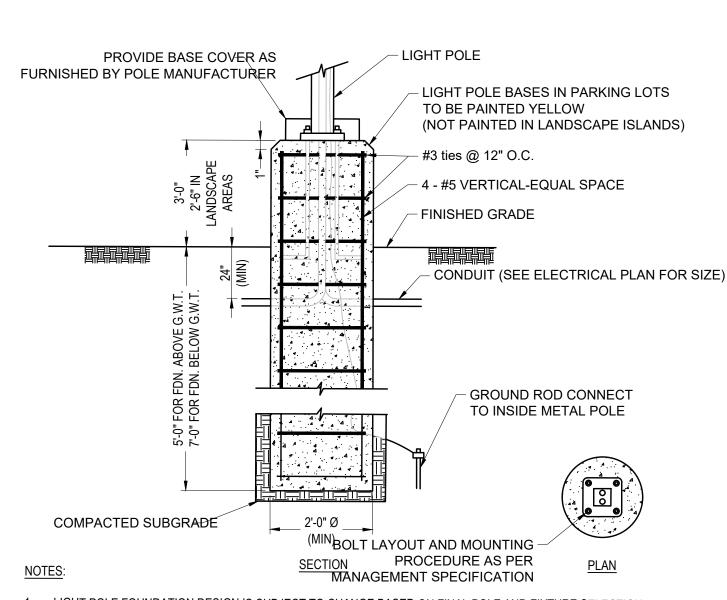
SOIL STOCKPILE



FULL DEPTH PAVEMENT

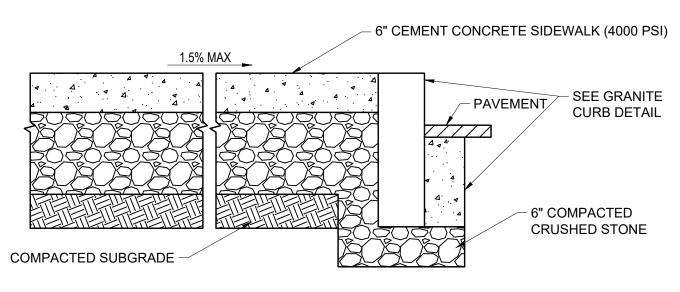


CATCH BASIN FRAME AND GRATE

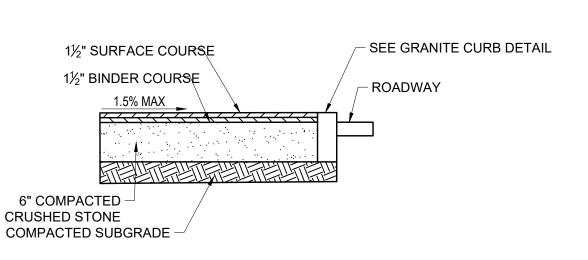


1. LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

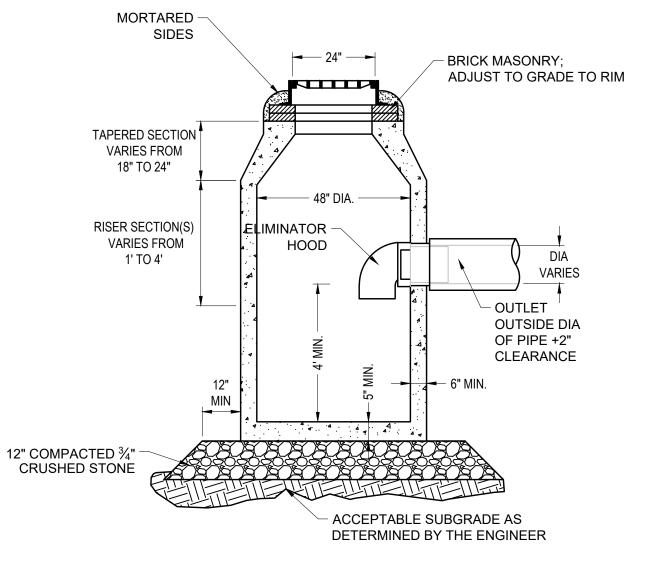
LIGHT POLE BASE N.T.S.



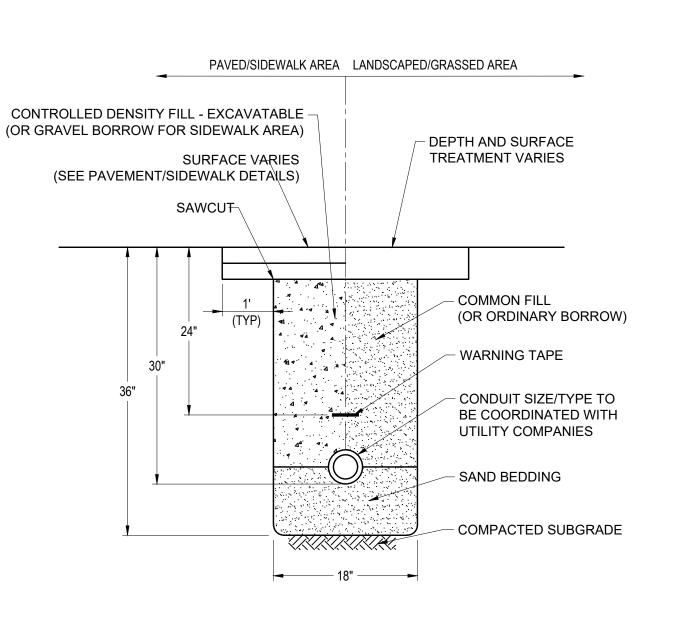
CEMENT CONCRETE SIDEWALK



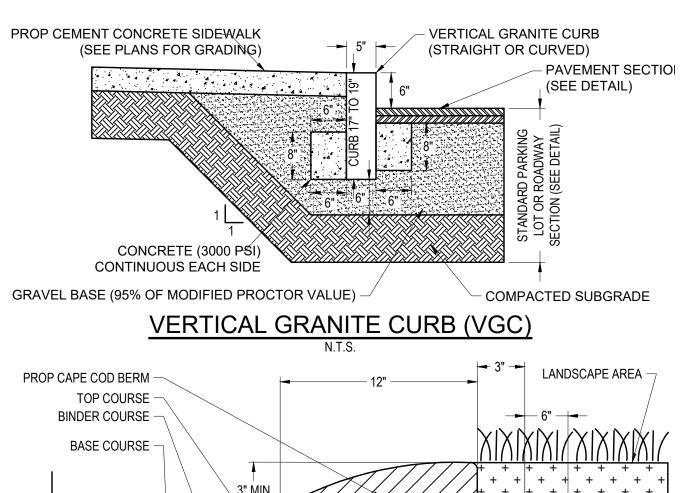
BITUMINOUS CONCRETE SIDEWALK



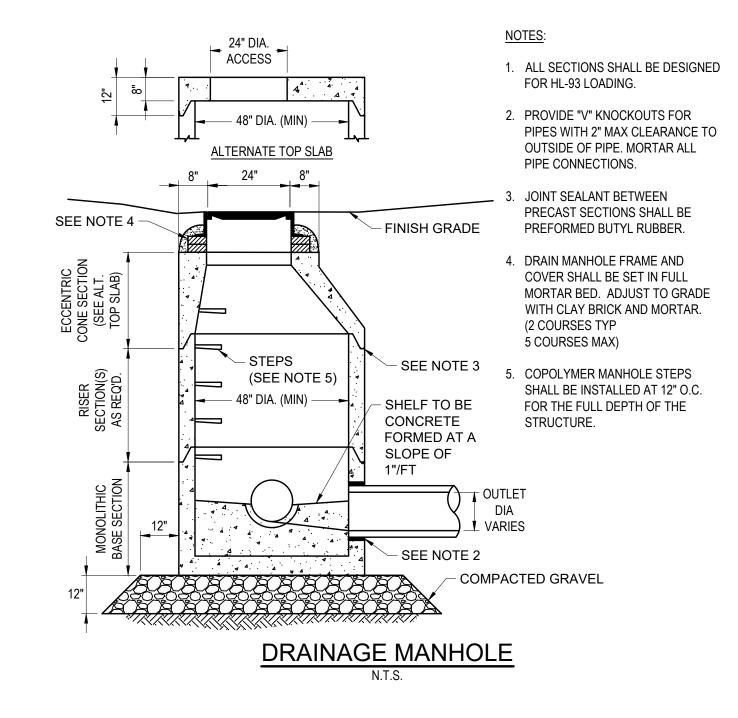
DEEP SUMP CATCH BASIN WITH HOOD

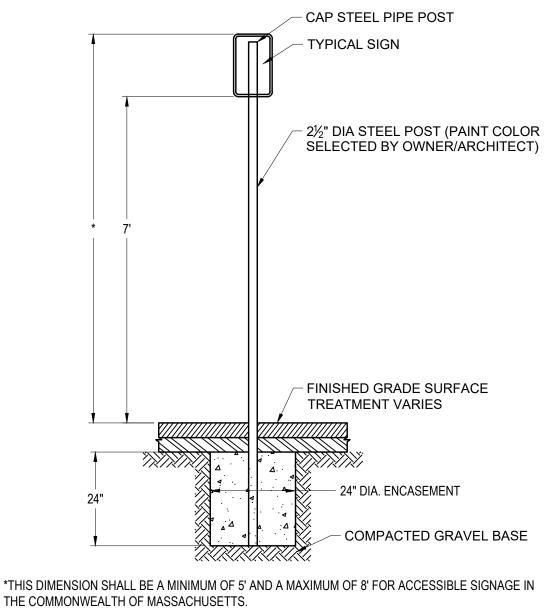


CONDUIT TRENCH



CAPE COD BERM





THE COMMONWEALTH OF MASSACHUSETTS.

SIGN POST



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DATE	12/15/2023
SCALE	N.T.S.

PREPARED FOR

Town of Groveland Highway Department 183 Main Street Groveland, MA 01834

REVISIONS			

PROJECT TITLE

Shanahan Field

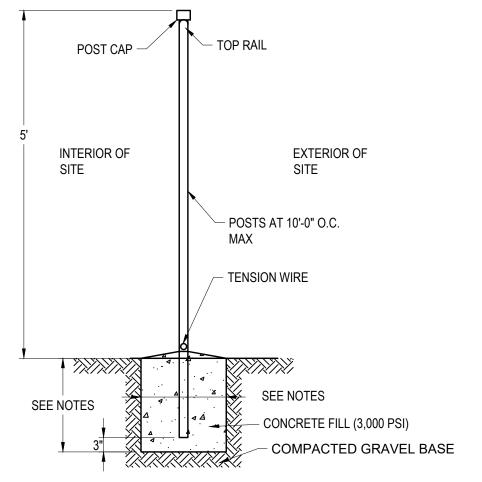
Permitting

PROJECT LOCATION 423 Main Street Groveland, MA DRAWING TITLE Construction Details

> PROJECT NO. TEC CAD FILE Shanahan_Details DRAWING NO. **C-5**

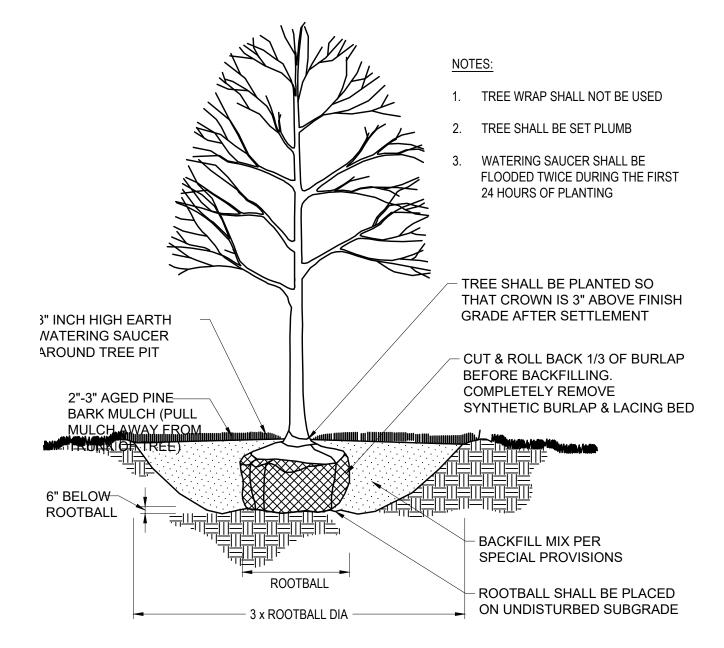
> > SHEET 5 OF 6

NOT FOR CONSTRUCTION



- LINE POSTS FOUNDATION SHALL BE 12" DIA AND 36" DEEP.
- CORNER AND TERMINAL POSTS SHALL BE 12" DIA AND 42" DEEP.
- GATE POSTS SHALL BE AS PER MANUFACTURE. 4. FROM THE BOTTOM OF THE TENSION WIRE TO THE FINISH GROUND SHALL BE NO MORE THAN 2".

INTERIOR FENCE

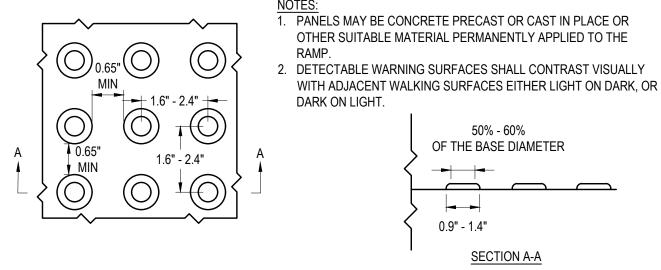


DECIDUOUS TREE PLANTING

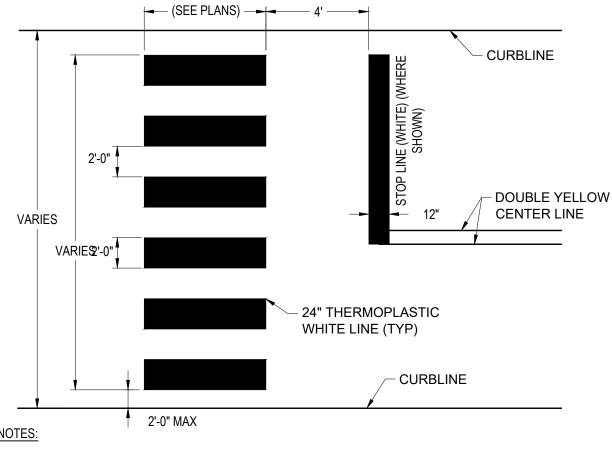
WHEELCHAIR RAMP NOTES

- MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE DESIGNED TO 4.5% ±0.5% (7.5% ±0.5% FOR CURB RAMPS)
- 2. A MINIMUM OF 3'-0" CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE
- (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.). CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'x5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FT.
- ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY.
- DETECTABLE WARNING PANELS ARE REQUIRED ON ALL OF THE PROPOSED WHEELCHAIR RAMPS AND ARE TO BE INSTALLED IN ACCORDANCE WITH CONSTRUCTION STANDARD E 107.6.5 (JUNE 2014). CONTRACTOR SHALL PROVIDE 6" BETWEEN DETECTABLE WARNING PANEL AND EDGE OF CONCRETE WHERE IT ABUTS LOAM & SEED.
- WHEELCHAIR RAMP SLOPES AND CROSS SLOPES SHALL HAVE A CONSTRUCTION TOLERANCE OF ±0.5%. DETECTABLE WARNING PANELS SHALL BE BRICK RED OR YELLOW IN COLOR AS APPROVED BY THE

WHEELCHAIR RAMP NOTES

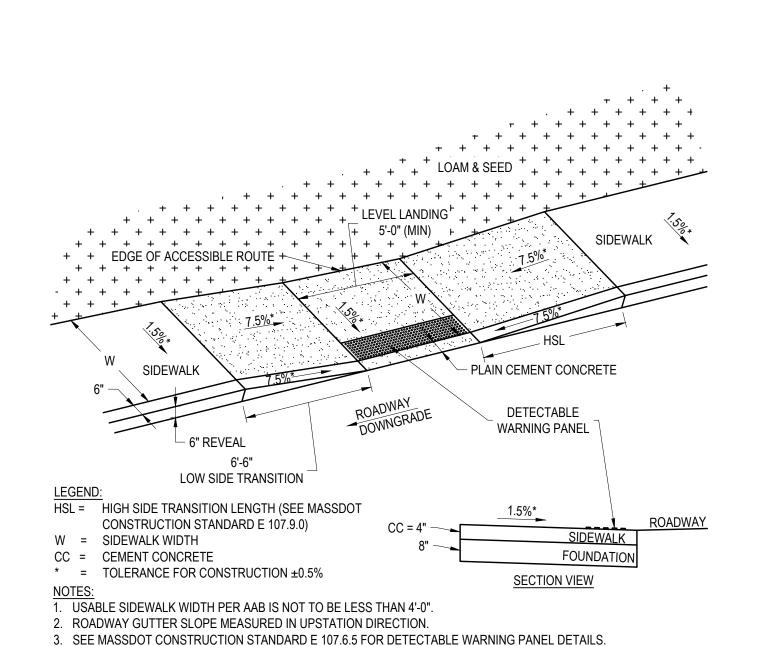


DETECTABLE WARNING PANEL

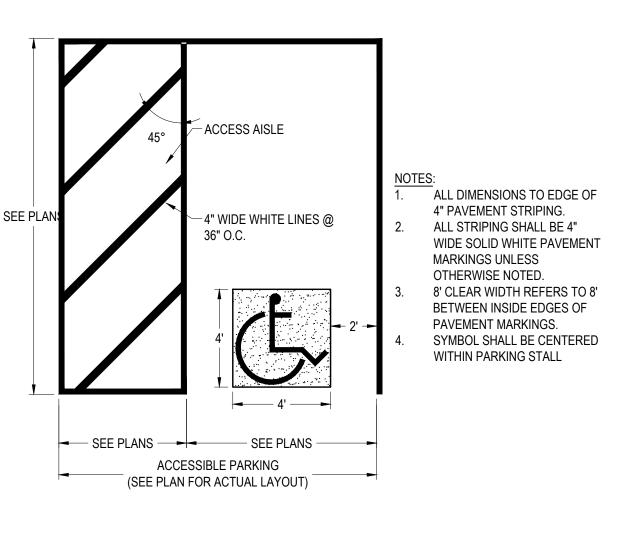


- 1. ALL 12" LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO 6" LINES) WILL BE ACCEPTED. ALL 24" LINES MAY BE EITHER ONE 24" LINE OR A COMBINATION OF TWO - 12" LINES.
- 2. LAYOUT OF CROSSWALKS SHALL BE APPROVED BY THE ENGINEER PRIOR TO APPLICATION.
- 3. CROSSWALK BARS SHALL BE PLACED OUTSIDE THE VEHICULAR WHEEL PATH WHEREVER POSSIBLE

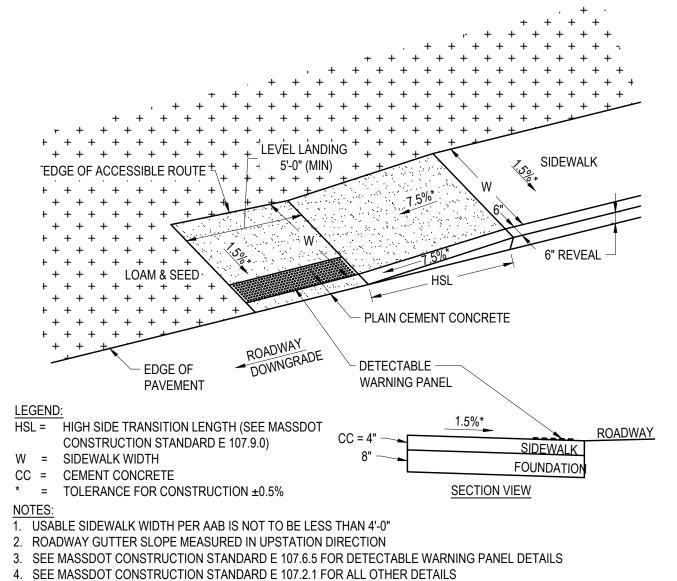
CROSSWALK PAVEMENT MARKING



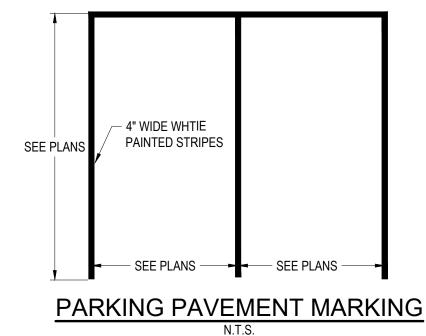
4. SEE MASSDOT CONSTRUCTION STANDARD E 107.2.1 FOR ALL OTHER DETAILS. WHEELCHAIR RAMP

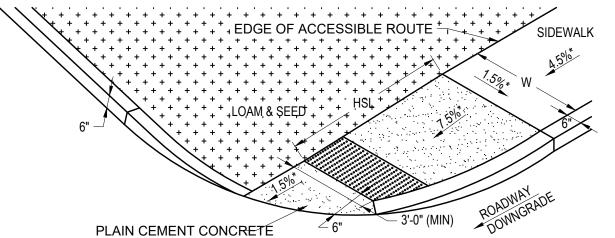


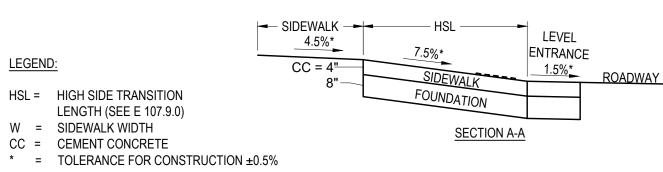
ACCESSIBLE PARKING SPACE



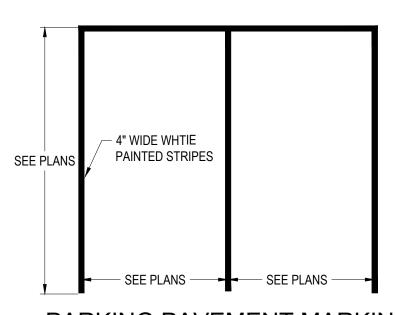
WHEELCHAIR RAMP







- 1. USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'-0" 2. ROADWAY GUTTER SLOPE MEASURED IN UPSTATION DIRECTION
- 3. SEE E 107.6.5 FOR DETECTABLE WARNING PANEL DETAILS
 - WHEELCHAIR RAMP



508-868-5104 www.TheEngineeringCorp.com SNL **DESIGNED BY** SNL DRAWN BY CHECKED BY PFE DATE 12/15/2023 SCALE N.T.S.

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TEC, Inc.

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PREPARED FOR

Town of Groveland Highway Department 183 Main Street Groveland, MA 01834

REVISIONS		
ISSUED FOR		

PROJECT TITLE

Shanahan Field

Permitting

PROJECT LOCATION

423 Main Street Groveland, MA

DRAWING TITLE

Construction Details

PROJECT NO. TEC CAD FILE

Shanahan_Details DRAWING NO. C-6

SHEET 6 OF 6

CONSTRUCTION COST ESTIMATE

DATE: 12/15/2023

DESCRIPTION: Shanahan Field Parking Lot
LOCATION: Shanahan Field, Main St, Groveland
ESTIMATOR: SNL

TEC PROJ. #: P2023
DESIGN STAGE: CONCEPT
CHECKED BY: PFE

SPEC	ITEM	DESCRIPTION	UNIT	UNIT PRICE	QTY	TOTAL
	103	TREE REMOVED - DIAMETER UNDER 24 INCHES	EA	\$2,200.00	7	\$15,400.00
	104	TREE REMOVED - DIAMETER 24 INCHES AND OVER	EA	\$4,100.00	3	\$12,300.00
	120.1	UNCLASSIFIED EXCAVATION	CY	\$65.00	750	\$48,750.00
	151	GRAVEL BORROW	CY	\$60.00	1700	\$102,000.00
	156	CRUSHED STONE	TON	\$65.00	95	\$6,175.00
	170	FINE GRADING AND COMPACTING - SUBGRADE AREA	SY	\$9.50	4210	\$39,995.00
	201	CATCH BASIN	EA	\$6,250.00	7	\$43,750.00
	202	MANHOLE	EA	\$5,900.00	5	\$29,500.00
	220.3	DRAINAGE STRUCTURE CHANGE IN TYPE	EA	\$1,400.00	1	\$1,400.00
	221	FRAME AND COVER	EA	\$1,400.00	12	\$16,800.00
	241.12	12 INCH REINFORCED CONCRETE PIPE	FT	\$140.00	475	\$66,500.00
	443	WATER FOR ROADWAY DUST CONTROL	MGL	\$100.00	40	\$4,000.00
	450.23	SUPERPAVE SURFACE COURSE - 12.5 (SSC - 12.5)	TON	\$275.00	405	\$111,375.00
	450.31	SUPERPAVE INTERMEDIATE COURSE - 12.5 (SIC -12.5)	TON	\$173.00	535	\$92,555.00
	452	ASPHALT EMULSION FOR TACK COAT	GAL	\$10.00	245	\$2,450.00
	453	HMA JOINT SEALANT	FT	\$1.50	90	\$135.00
	470	HOT MIX ASPHALT BERM, TYPE A	TON	\$275.00	10	\$2,750.00
	482.3	SAWCUTTING ASPHALT PAVEMENT	FT	\$5.00	365	\$1,825.00
	504	GRANITE CURB TYPE VA4 - STRAIGHT	FT	\$70.00	35	\$2,450.00
	509	GRANITE TRANSITION CURB FOR WHEELCHAIR RAMPS - STRAIGHT	FT	\$75.00	20	\$1,500.00
	509.1	GRANITE TRANSITION CURB FOR WHEELCHAIR RAMPS - CURVED	FT	\$95.00	27	\$2,565.00
*	656	72 INCH VINYL PRIVACY FENCE	FT	\$150.00	80	\$12,000.00
*	697.1	SILT SACK	EA	\$275.00	7	\$1,925.00
	701	CEMENT CONCRETE SIDEWALK	SY	\$85.00	35	\$2,975.00
	701.2	CEMENT CONCRETE WHEELCHAIR RAMP	SY	\$120.00	5	\$600.00
	748	MOBILIZATION	LS	\$20,000.00	1	\$20,000.00
	751	LOAM BORROW	CY	\$95.00	15	\$1,425.00
	765	SEEDING	SY	\$4.00	165	\$660.00
	767.121	SEDIMENT CONTROL BARRIER	FT	\$10.00	1050	\$10,500.00
	776.556	MAPLE - RED - RED SUNSET 8-10FT	EA	\$650.00	14	\$9,100.00
	804.2	2 INCH ELECTRICAL CONDUIT TYPE NM - PLASTIC (UL)	FT	\$50.00	400	\$20,000.00
*	812.99	LED LIGHT POLE	EA	\$8,000.00	6	\$48,000.00
	852	SAFETY SIGNING FOR TRAFFIC MANAGEMENT	SF	\$25.00	13	\$325.00
	864.04	PAVEMENT ARROWS AND LEGENDS REFLECTORIZED WHITE (THERMOPLASTIC)	SF	\$11.00	200	\$2,200.00
*	866.104	4 INCH REFLECTORIZED WHITE LINE (THERMOPLASTIC)	SF	\$2.00	2500	\$5,000.00
	866.112	12 INCH REFLECTORIZED WHITE LINE (THERMOPLASTIC)	FT	\$6.00	110	\$660.00
*	877.4	SIGN POST 2 - 1/2 INCH STEEL	EA	\$600.00	5	\$3,000.00
				SUBTOTAL = ENGINEERING =		\$742,545.00
						\$70,000.00

\$74,254.50

10% CONTINGENCY =



Groveland Police Department

JEFFREY T. GILLEN

Chief of Police

181 MAIN STREET Groveland, MA 01834



December 21, 2023

Groveland Community Preservation Committee 183 Main Street Groveland, MA 01834

RE: Application for a Parking Lot at Shanahan Field

Dear Mr. Dempsey,

Please find this letter as a show of support from the Groveland Police Department for the application to design and create a parking lot at Shanahan Field. Currently, there is no delineated parking at the field which creates a dangerous situation during the youth soccer season, and other times when the fields are in use.

Most event visitors park along Main Street which creates a hazardous situation for several reasons. With this roadway being narrow children are stepping out of their vehicles into the roadway. The sidewalk passage is compromised by parked vehicles which force pedestrians into the roadway and the traffic flow on Main Street is disturbed. The current parking situation is not conducive to the evergrowing traffic flow and the increased popularity or attraction to the Shanahan Field.

We are hopeful that the Town will receive this grant to improve this important resource. If you have any questions or require any further information, please do not hesitate to reach out.

Sincerely,

Jeffrey T. Gillen Chief of Police