

FINNERAN & NICHOLSON, P.C.

ATTORNEYS AND COUNSELORS AT LAW

TOWN OF GROVELAND
2021 OCT 15 AM 10:27

30 GREEN STREET
NEWBURYPORT, MA 01950
Tel. (978)462-1514 * Fax (978)465-2584

515 GROTON ROAD, SUITE 203
WESTFORD, MA 01886
Tel. (978)496-1177 * Fax (978)496-1146

October 14, 2021

Groveland Planning Board
Rebecca Oldham, Director of Economic Development, Planning and Conservation
183 Main Street
Groveland, MA 01834

**RE: King Meadow Development, LLC; 106 King Street, Groveland, MA
Inclusionary Zoning Special Permit**

Dear Ms. Oldham, and Members of the Board,

Please be advised that this office represents King Meadow Development, LLC (hereinafter "Applicant"), regarding the above referenced Property. Enclosed please find Application and supporting materials seeking a Special Permit under Section 10.1 Inclusion of Affordable Housing of the Groveland Zoning Bylaw. Specifically, my client is proposing to pay the fee in lieu as allowed under Section 10.1.5.2 of the Bylaw, pursuant to Section 10.1.8 Fees-In-Lieu of Affordable Housing Unit Provision.

As per Ms. Oldham's determination, Section 10.1.8 of the Zoning Bylaw requires the Owner/Applicant/Developer to pay \$80,000 as the affordable housing payment based upon the Department of Housing and Community Development determination that the affordable price for a for sale single family home equal to what is being proposed is calculated to be \$234,000.00 in Groveland. As a result, in accordance with Section 10.1.8 of the Zoning Bylaw, 50% of the difference between the affordable price and the market rate price (\$450,000) would be \$108,000. As a result, the bylaw provides that the payment will be 50% of the difference between the affordable price and market rate price or \$80,000 whichever is lower. My client is committing to pay the required fee in lieu.

Please accept the attached Application and supporting information as my clients' formal submission for a Special Permit under Section 10.1 Inclusion of Affordable Housing of the Groveland Zoning Bylaw.

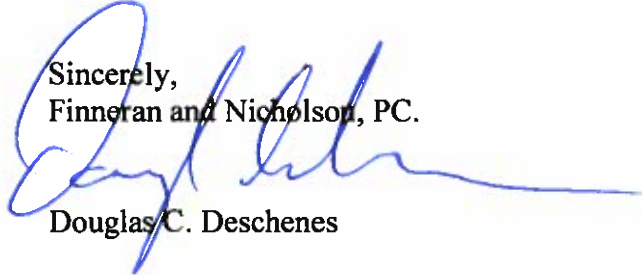
Enclosed please find:

1. Application for Special Permit;
2. Copy of Subdivision Decision
3. Authorization letter;
4. Property Deed;
5. Town of Groveland Assessor's Property Card;
6. A Certified List of Abutters;

7. Filing Fees.

Please note, that electronic copies of all materials will be forwarded to the Planning Board by e-mail, as required, under separate cover. Additionally, a copy is being filed with the Town of Groveland Clerk's Office.

Sincerely,
Finneran and Nicholson, PC.



Douglas C. Deschenes

DCD/tmg

Attachments

CC: Groveland Town Clerk



Town of Groveland | Planning Department
183 Main Street Groveland, MA 01834

SPECIAL PERMIT APPLICATION

Section 10.1 - Inclusion of Affordable Housing

Applicable Special Permit

MGL c. 40A, Section 9. Zoning ordinances or by-laws shall provide for specific types of uses which shall only be permitted in specified districts upon the issuance of a special permit. Special permits may be issued only for uses which are in harmony with the general purpose and intent of the ordinance or by-law, and shall be subject to general or specific provisions set forth therein; and such permits may also impose conditions, safeguards and limitations on time or use.

INFORMATION

APPLICANT

Name: Attorney Douglas C. Deschenes as Attorney for King Meadow Development, LLC
Address: 515 Groton Road, Westford, MA 01886
Phone: 978-496-1177 Email: doug@finnic.com

CONSULTANT

Firm: WGH Land Survey & Design Project Engineer: William Holt
Phone: 978-346-7873 Email: billholt@aol.com

OWNER

Name: King Meadow Development, LLC, c/o Attorney Douglas C. Deschenes
Address: 211 Seven Star Road, Groveland, MA
Phone: 978-496-1177 Email: doug@finnic.com

LOT DETAILS

of Years of Ownership: 2 Zoning District: RB
Assessors: Map & Lot 26-013-0 Registry of Deeds
Book and Page: Book 37478, Page 210

SCOPE OF WORK

Give a brief summary of the nature of the project.

Nine (9) lot subdivision and associated roadway infrastructure and utilities.

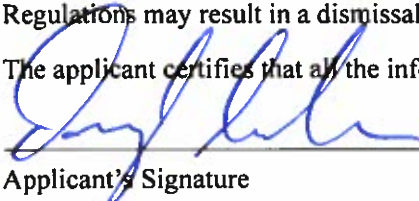
SIGNATURES

The undersigned owner or authorized agent hereby applies for a permit in accordance with all statutes, laws, and by-laws of the Commonwealth of Massachusetts and the Town of Groveland. It shall be the responsibility of the applicant to furnish all supporting documentation with this application. The applicant shall be responsible for all expenses for filing and legal notification.

The application hereby agrees to permit inspection to confirm construction as per plan during ordinary business hours by the Planning Board or its agent. The Planning Board reserves the right to hire a consultant at the applicant's expense if deemed necessary to further review plans or supporting data (M.G.L. c.44 Sec 53G).

Failure to comply with the application requirements, as cited herein and in the Planning Board Rules and Regulations may result in a dismissal by the Planning Board of this application as incomplete.

The applicant certifies that all the information and attachments submitted are true and correct.



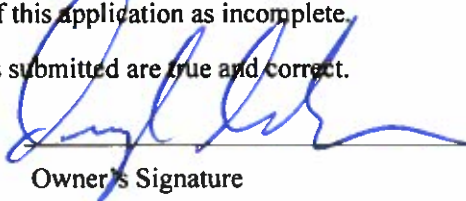
Applicant's Signature

Douglas Deschenes as Attorney for
King Meadow Development, LLC

Applicant's Name Printed

10-14-2021

Date



Owner's Signature

Douglas Deschenes as Attorney for Owner

Owner's Name Printed

10-14-2021

Date

Town of Groveland
Planning Board
183 Main Street
Groveland, MA 01834



Brad Ligols, Chair
Walter Sorenson, Jr., Vice-Chair
Jim Bogiages
Robert Danforth
John Stokes, III

**NOTICE OF DECISION
DEFINITIVE SUBDIVISION
STORMWATER MANAGEMENT PERMIT**

**PROPERTY: KING STREET & 106 KING STREET
ASSESSORS MAP 26 PARCEL 13 AND MAP 26 PARCEL 13F**

PETITIONER: King Meadow Development LLC. c/o Kevin Cunniff, 211 Seven Star Road Groveland MA 01834
DATE: September 20, 2021

ADDRESS: 106 King Street Groveland, MA 01834
MEETING: March 2, 2021; April 6, 2021; April 20, 2021; May 18, 2021; June 2, 2021; August 17, 2021; September 7, 2021; September 20, 2021

2021 SEP 29 PM 3:30
TOWN OF GROVELAND

YOU ARE HEREBY notified of the Decision of the Planning Board on the application made by King Meadow Development, LLC. (the "Applicant") for property located at 106 King Street Groveland Massachusetts, Assessor's Map 26 Parcel 13 and Map 26 Parcel 13F in Groveland, MA, located in the Residential 2 (R2) District (the "Property").

As set forth in the application filed with the Board and testimony, the Applicant sought approval to construct a nine (9) lot Definitive Subdivision Plan, labeled King Meadow Farm- Katie Lane, including a proposed roadway, the installations of stormwater management infrastructure and the installation of underground utilities. The Application additionally sought approval of a Stormwater Management and Land Disturbance Permit for the associated construction and development.

The Definitive Subdivision application was filed on January 20, 2021 and the Stormwater Management Permit on February 10, 2021. The hearing was advertised in the Lawrence Eagle-Tribune on February 15, 2021 and February 22, 2021. All abutters were notified via Certified Mail Return Receipt. The Groveland Planning Board held public hearings remotely via Zoom video conference on March 2, 2021; April 6, 2021; April 20, 2021; May 18, 2021, and; June 2, 2021. Remote meetings were held due to Governor Baker's Executive Order of March 12, 2020, and current State of Emergency in the Commonwealth due to the outbreak of the "COVID-19 Virus." In order to mitigate the transmission of the COVID-19 Virus, municipalities were advised and directed by the Commonwealth to suspend public gatherings, and as such, the Governor's Order suspended the requirement of the Open Meeting Law to have all meetings in a publicly accessible physical location. Subsequent meetings were held in person on August 17, 2021; September 7, 2020, and; September 20, 2021. An extension to act on the application was granted to June 30, 2021 and timestamped with the Town Clerk on March 30, 2021. An extension to act on the application was granted to September 7, 2021 to act on the application was granted and timestamped with the Town Clerk on June 3, 2021. The public hearing was closed on September 20, 2021.

The following members were present: Brad Ligols, Walter Sorenson, Robert Danforth, Jim Bogiages and John Stokes III.

FINDINGS

The proposed Project as designed will protect and provide for the public health, safety, and general welfare of the Town of Groveland.

The proposed Project as designed will protect and conserve the value of land throughout the Town of Groveland and the value of buildings and improvements upon the land, and will minimize the conflicts among the uses of land and buildings.

The proposed Project will ensure that public facilities and services are available, concurrent with development, and will have a sufficient capacity to serve the proposed subdivision.

The proposed Project as designed will provide the most beneficial relationship between the uses of land and buildings and the circulation of traffic.

On February 4, 2020 the Applicant filed a Preliminary Subdivision Plan for ten (10) residential lots, construction of a roadway with a cul-de-sac and the installation of stormwater management infrastructure and underground utilities. The discussion process resulted in a change from ten (10) lots to nine (9) residential lots. At the August 25, 2020 Planning Board meeting the Board found in favor of Applicant to file a definitive plan based on the findings associated with the preliminary plan and listed in the decision.

The Peer Review Engineer, TEC, provided a final comment letter dated August 24, 2021. (See letter from David Nader, Project Engineer.)

The Groveland Water and Sewer Commission reached an agreement with the Applicant to complete off-site improvements to the water distribution system. These improvements will provide a significant benefit to the water system and is included in the Water and Sewer Commission Capital Improvement Plan. The improvements include approximately 1,500 ft. of 12-inch Ductile Iron water main on King Street. This will replace the existing 6-inch Cast Iron water main that dates back to 1920 and is in need of replacement to improve both the system hydraulics and water quality. Additionally, the Water and Sewer Commission supports a waiver of the water main loop requirement for the project located at King Street. The Water and Sewer Commission will also waive fees associated with the new proposed development. (See letter from the Water & Sewer Commission dated January 12, 2021)

The Applicant filed a Notice of Intent (NOI) and Groveland NOI with the Groveland Conservation Commission.

The Fire Department issued a letter stating they have no concern with the roadway length of the proposed subdivision, which exceeds the required 750 ft. length per the Groveland Subdivision Rules and Regulation. Two hydrants will be located in the subdivision as required. It was noted that the replacement and upsizing of the water main will increase the volume of water and will aide in fire protection in the event the hydrants are needed. (See letter from Lt. Brian Belfiore and Chief Valentine titled King Meadow Development, Katie Lane.)

DECISION

After the meeting on the above dates, and upon a motion by Walter Sorenson, seconded by Robert Danforth, the Planning Board approved the decision as drafted and to APPROVE the application for the Definitive Subdivision Plan labeled King Meadow Farm- Katie Lane and approve the associated Stormwater

Management and Land Disturbance Permit with conditions. Voting aye: Jim Bogiages, aye. Robert Danforth, aye. Walter Sorenson, nay. John Stokes, abstain. Brad Ligols, aye. Motion approved

SPECIAL CONDITIONS

- 1) The roadway, utilities, and stormwater management infrastructure will be constructed according to the Plans, with requested waivers granted. With respect to waivers concerning development standards, the Planning Board makes a finding, in accordance with Section 70-1.10.1 of the subdivision rules and regulations, that the waived requirements will not be detrimental to the public safety, health, or welfare or injurious to other property; the conditions upon which the request is based are unique to the property for which the relief is sought and are not applicable generally to other property; because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out; and the relief sought will not in any manner vary the provisions of the Zoning Bylaw, Master Plan, or Official Map, except that those documents may be amended in the manner prescribed by law. These waivers consist of:

Section 70-4.3 G (2): *Where a street does not extend beyond the boundary of the subdivision and its continuation is not required by the Planning Board for access to adjoining property, its length shall not be greater than 750 feet.* The Applicant is proposing a 1,500' 12" diameter water main extension to improve water service and fire protection for the surrounding neighborhood. The Planning Board agrees this is an improvement and the length does not provide an adverse impact to public safety. A letter was issued by the Fire Department stating the length, as proposed, would not impede emergency response.

Section 70-4.3 K (1): *Cul-de-sac streets and their extensions, if any, shall not be longer than 750 feet from their origin to the furthest point.* The proposed cul-de-sac is 825.4' long to the center of the cul-de-sac. The Applicant is proposing a 1,500' 12" diameter water main extension to improve water service and fire protection for the surrounding neighborhood. The Planning Board agrees this is an improvement and the length is not excessive and provides no adverse impact to public safety. A letter was issued by the Fire Department stating the length, as proposed, would not impede emergency response.

Brad Ligols made a motion to approve a waiver from Section 70-4.3 G (2) and Section 70-4.3K (1). Walter Sorenson seconded the motion. Voting aye: Jim Bogiages, aye. Robert Danforth, aye. Walter Sorenson, nay. John Stokes, abstain. Brad Ligols, aye. Motion approved

Section 70.5.6 C: *Culverts, storm drains, and sewer pipes. All pipes except sub-drains shall be reinforced concrete pipe Type III, minimum, and shall be selected in conformity with the requirements of the Standard Specifications. All pipe shall be installed in accordance with the size and location on the approved definitive plan. No backfilling of pipes shall be done until the installation has been inspected by the Planning Board or its agent. All drainage trenches shall be filled with clean gravel borrow, Type B, in accordance with Section 150.* The Highway Superintendent is agreeable to the use of the proposed PVC pipe, and requested the pipe be upsized from 12 inch to 15-inch diameter. The Planning Board agrees to waive this requirement per the Highway Superintendent's recommendation to a 15-inch diameter. Proper cover shall be provided.

Jim Bogiages made a motion to approve the waiver of Section 70-5.6C for the Definitive Subdivision Plan labeled King Meadow Farm Katie Lane. Robert Danforth seconded the motion. Voting aye: Jim Bogiages, aye. Robert Danforth, aye. Walter Sorenson, aye. John Stokes, abstain. Brad Ligols, aye. Motion approved.

Section 70-5.10 and Section 70-5.11: Whenever possible, such fences, rails, and walls shall be of a rustic nature to blend with the character of the Town. Stone wall appearance. Stone walls in New England and in Groveland are a proud hallmark of our heritage and are a fundamental quality of the charm and special nature of this rural community. Retaining walls, when required, shall be constructed of field stone and mortar and shall be finished with a concrete cap to prevent deterioration. The Applicant argued that the retaining wall proposed is more suited for this type of construction both in terms of constructability, structural integrity, durability and importantly safety. These walls will not be visible to anyone who travels the roadway. The Planning Board agrees the intent of the regulations are to preserve the charm of Groveland and where the wall will be set back from the roadway it is not necessary.

Walter Sorenson made a motion to approve the waiver of Section 70-5.10 and Section 70-5.11 for the Definitive Subdivision Plan labeled King Meadow Farm Katie Lane. Robert Danforth seconded the motion. Voting aye: Jim Bogiages, aye. Robert Danforth, aye. Walter Sorenson, aye. John Stokes, abstain. Brad Ligols, aye. Motion approved

- 2) The Applicant shall file a special permit under Section 50-10.1 of the Groveland Zoning Bylaw regarding the inclusion of affordable housing.
- 3) The Applicant shall connect to Town water, as required under Section 70-4.6 A of the Subdivision Rules and Regulations, and shall work with the Water and Sewer Commission to obtain appropriate permits. Documentation of permits/approvals shall be provided to the Planning Department.
- 4) The fence around the retention pond labeled 2-1 and 2-2 shall be constructed per the specifications listed on plan page D10. The Applicant shall coordinate with the Highway Superintendent on the entry gate size and location of the entry gate to ensure proper access for future maintenance. Written documentation of approval from the Highway Superintendent shall be obtained and a copy shall be provided to the Planning Department prior to installation.
- 5) A wooden guardrail, as specified on sheet D8 of the approved plan, shall be constructed at the roundabout at a height of 36" for ease of maintenance as well as sightline for vehicles and pedestrians. Approval of the fence location within the roundabout shall be coordinated with the Highway Superintendent. Written documentation from the Highway Superintendent of approval shall be obtained and submitted to the Planning Department prior to installation.
- 6) In consideration of the approval of the Plan, there is to be no further division or subdivision of a part or portion of the parcels created through this Subdivision Plan. This restriction is to be documented in the respective deeds for each lot within this subdivision.
- 7) No additional mortgage(s) or lien(s) may be applied to any lots in the subdivision in which the Town of Groveland has a security interest.

- 8) Vital access must be maintained at all times and is the sole responsibility of the Owner/Applicant/Developer. This access includes plowing, sanding and general up keep.
- 9) There shall be no trash pickup on the road until the road is officially accepted by the Town. Trash can be picked up at the end of Katie Lane on King Street, the Applicant can arrange for private trash pickup, or trash can be brought to the transfer station in Georgetown. Compliance with the Roadway Acceptance Procedures is the legal and financial responsibility of the applicant. Services, including trash pickup, will be provided once the roadway is accepted.
- 10) Violations of any terms of this Decision or covenants relating thereto shall be just cause for recession, modification or amendment pursuant to M.G.L. c.41 Section 81W.

PRIOR TO THE ENDORSEMENT OF THE PLAN

- 11) A Covenant (Form F) securing all lots within the subdivision for the construction of ways and municipal services must be submitted to the Planning Department. Said lots may be released from the covenant upon posting of security as required.
- 12) A Conveyance of Easements and Utilities (Form H) for all utilities and easements placed on the subdivision must be submitted to the Planning Department.
- 13) The Owner/Applicant/Developer shall obtain general liability insurance covering the development in the amount of Five Millions Dollars (\$5,000,000.00), and further that the Owner/Applicant/Developer shall indemnify and hold harmless the Town of Groveland from any and all claims which may arise from the development and construction relating thereto.
- 14) A development schedule must be submitted to the Planning Department.
- 15) The Applicant must meet with the Director of Economic Development Planning & Conservation in order to ensure that the final plans conform to this Memorandum of Decision. These plans must be submitted within ninety (90) days of this Memorandum of Decision.

PRIOR TO SITE WORK/CONSTRUCTION

- 16) The Applicant shall file a special permit under Section 50-10.1 of the Groveland Zoning Bylaw regarding the inclusion of affordable housing.
- 17) The Memorandum of Decision and accompanying plans must be recorded with the Southern Essex Registry of Deeds. The Applicant shall provide the Planning Department with a copy of the recorded Memorandum of Decision and accompanying plans.
- 18) A Performance Guarantee bond in the amount of \$ \$1,060,000 shall be posted for the purposes of ensuring that the site is constructed in accordance with the approved plans and that a formal as-built plan is provided.
- 19) Each and every Form F, Form H, Form G-1, G-2, Covenant, easement document, Homeowner's Association Agreement, and other pertinent maintenance document must be recorded with the

Southern Essex Registry of Deeds as noted in this decision. The Applicant shall provide the Planning Department with a copy of each document filed.

- 20) There shall be a covenant on lot 6 and lot 7 restricting further development from the area beyond the conservation markers at the 75ft no-build zone to the area along Center Street and King Street shall be drafted and submitted to the Planning Board. Once approved by the Planning Board, the covenant shall be recorded at the Southern Essex Registry of Deeds. Documentation shall be provided to the Planning Department.
- 21) A temporary sign shall be placed on the property corner near the easement located on 102 King Street, but not on the property at 102 King Street, directing all construction traffic to the site entrance. At no time shall the easement located at the property of 102 King Street be used for construction vehicles or any vehicles associated with the construction of the development. The location shall be confirmed with the Building Commissioner and the documentation of approval shall be delivered to the Planning Department.
- 22) The peer review engineer, or an approved third-party engineering firm, will perform construction monitoring; the Applicant is responsible for the reasonable cost of said services. The monitor will oversee the construction to ensure that the site is built according to plan. The monitor shall make weekly inspections of the project and file monthly reports to the Planning Department throughout the duration of the project. The frequency of inspections may be adjusted in coordination with the Planning Department based on the construction phase and weather conditions. The reports shall detail areas of non-compliance with the approved Plans, and any corrective-actions taken. Reports will be shared with the Applicant for satisfaction of the National Pollutant Discharge Elimination System (NPDES) permit. The Applicant shall notify the Planning Department at least two (2) working days before each of the following events:
 - 14-13C (1) Erosion and sediment control measures are in place and stabilized, and site clearing limits are clearly marked in the field.
 - 14.13 (2) Site Clearing has been substantially completed
 - 14.13 (3) Rough Grading has been substantially completed
 - 14.13 (4) Final Grading has been substantially completed
 - 14.13 (5) Close of the Construction Season; stabilization of the site.
 - 14.13 (6) Final Landscaping (permanent stabilization) and project final completion.
- 23) Per Section 14.13 D, the monitor will also provide reports following heavy rain events (storm events greater than 0.5 inches). The monitor will also be available upon notice to inspect the site accompanying a Planning Department designated official.
- 24) Monitoring should also be coordinated with the engineer to witness the required observation under Section 70-6.4 in the Subdivision Rules and Regulations as listed:
 - Observation #1** Initial Center Line Staking and Grading
 - Observation #2** Clearing and Grubbing Operations, Erosion Controls
 - Observation #3** Earthwork Operations, Fire Tank Excavation and Installations, and Detention Ponds
 - Observation #4** Storm Drainage Systems, Public Sewer Systems, and Public Utilities
 - Observation #5** Retaining Wall Construction

- Observation #6** Roadway Subgrade Operations
- Observation #7** Sub-base Courses
- Observation #8** Base Course
- Observation #9** Stone Seal (as may be required)
- Observation #10** Surface Course
- Observation #11** Landscaping, Trees, and Shrubs
- Observation #12** As-Builts, Bounds, Final Grading

- 25) A pre-construction meeting must be held with the developer, contractors, Planning Department, Applicant, and other applicable representatives to discuss scheduling of inspections and construction schedule.
- 26) Yellow "Caution" tape must be placed along the limit of clearing and grading as shown on the plan. The Planning Department must be contacted prior to any initial cutting and/or clearing on-site.

PRIOR TO ISSUANCE OF A BUILDING PERMIT

- 27) A temporary location for U.S. Mail delivery shall be provided at the beginning of Katie Lane. The location shall be confirmed by the local postmaster. Documentation of approval shall be submitted to the Planning Department.
- 28) All roads depicted on the plan must be constructed and stabilized.
- 29) Driveways must be accessible for emergency vehicles and approved by the Town Fire Chief and Police Chief. Documentation of approval shall be provided to the Planning Department.
- 30) A Plot Plan for the lot in question must be submitted to include:
 - Location of the structure
 - Location of the driveway
 - Location of all water and sewer lines
 - Proposed grading
 - Location of drainage infrastructure
 - Identification of all easements
- 31) The lot in question shall be staked in the field; the location of any major departures from the plan must be shown.
- 32) Appropriate erosion control measures for the lot shall be in place.
- 33) Catch basins shall be adequately protected and maintained to prevent siltation into drainage structures.
- 34) Lot numbers, visible from the frontage, must be posted on lots.

PRIOR TO OCCUPANCY

- 35) The Owner shall abide by the schedule as depicted under Section 50-10.1 (F) 5. Occupancy will not be granted for market rate units that delay the development of affordable units beyond the schedule.

- 36) The Applicant must submit a letter from the architect or engineer of the project stating that the landscaping and site layout substantially complies with the Plans referenced in this memorandum of Decision as endorsed by the Planning Board, to cover the full amount of the landscaping materials and installation if weather conditions do not permit the completion of the landscaping prior to the use of the building.
- 37) All slopes must be stabilized with regard to erosion and safety.
- 38) The lot must be rakes, loamed and seeded, sodded or mulched.

PRIOR TO THE RELEASE OF ALL SECURITY AND ESCROW FUNDS

- 39) The Applicant shall submit and as-built plan stamped by a Registered Professional Engineer in Massachusetts that shows all construction, site design, including stormwater structures and other pertinent site features. One paper copy and one electronic copy (PDF) shall be submitted to the Planning Board. If over one (1) year has elapsed from the issuance of the Certificate of Occupancy. The Applicant must submit a second letter from the architect or engineer verifying that the landscaping and site layout substantially complies with the Plans reference in this Memorandum of Decision as endorsed by the Planning Board.
- 40) The Planning Board must, by a majority vote, make a finding that the site is in conformance with the approved plans.

DURING CONSTRUCTION

- 41) Subject to the Conditions contained herein, the Project shall be substantially constructed in accordance with the Record Plans, which are on file with the Planning Board.
- 42) Any action taken by a Town Board, Commission or Department which requires changes in the plan or design of the development, as presented to the Planning Board, may be subject to modification by the Planning Board.
- 43) If the Applicant wishes to modify the approved Record Plans, it shall submit proposed modifications to the Planning Board. Where such modification is deemed substantial, the same standards and procedures applicable to an original application for site plan approval, aquifer protection district special permit and stormwater management and land disturbance permit shall be required by the Planning Board; provided, however, that the Planning Board may determine that a proposed modification is insubstantial and approve the same without the need for any further Planning Board approval or hearing. Authorization to modify the Record Plans shall be obtained prior to any substantial modification in the field.
- 44) The construction contractor shall employ all available best-management-practices for the control of dust, including but not limited to watering, planting, stabilization, track-out shaker plates, and/or stockpile coverings.

- 45) It shall be the responsibility of the Applicant to assure that no erosion from the construction site shall occur which will cause deposition of soil or sediment upon adjacent properties or public ways, except as normally ancillary to off-site construction. Discovery of off-site erosion will be a basis for the Planning Board to make a finding that the project is not in compliance with the approved Plans. In the event off-site erosion is discovered as a result of construction activity, the Planning Board shall give the applicant written notice of any such finding with three (3) days to provide evidence of corrective-action.
- 46) In an effort to reduce noise levels, the Applicant or contractor shall keep in optimum working order, through regular maintenance, any and all equipment that shall emanate sounds from the structures or site.
- 47) Exterior construction of the Project shall not commence on any weekday before 7:00AM and shall not continue beyond 6:00PM except for emergency repairs. Exterior construction shall not commence on Saturday before 8AM shall not continue beyond 5PM with the same exceptions. The Building Commissioner may allow longer hours of construction in special circumstances, provided that such activity normally is requested in writing by the Applicant except for emergency circumstances, where oral communication shall be followed by written confirmation. There shall be no exterior construction on any Sunday or state or federal legal holiday. Hours of construction operation shall be reported to the Police Department and enforced by the Building Commissioner.
- 48) The endorsement of the plan approval by the Planning Board shall be valid for a period of three (3) years from the date of filing by the Planning Board of the approval with the Town Clerk. See section 70-3.4 G (3) of the Regulations Governing the Subdivision of Land
- 49) The provisions of this conditional approval shall apply and be binding upon the Applicant, its employees, and all successors and assigns in interest or control.
- 50) The contractor shall contact Dig Safe at least 72 hours prior to commencing any excavation.
- 51) Gas, telephone, cable, and electric utilities shall be installed underground as specified by the respective utility companies.
- 52) The Applicant shall at all times use all reasonable means to minimize inconvenience to residents in the general area.
- 53) The Applicant is hereby notified that should the Applicant disagree with this decision, the Applicant has the right under MGL c.41 Section 81BB, to appeal this decision within twenty days after the date this decision has been filed with the Town Clerk.
- 54) The following information shall be deemed part of the decision:

Plan titled:	“Definitive Subdivision Plan King Meadow Farm”
Prepared for:	King Meadow Development, LLC 211 Seven Star Road Groveland, MA 01834
Prepared by:	WGH Land Survey & Design, 83 West Main Street, Merrimac, MA


Scale: 1" = 100'
Date: May 5, 2021, and revision date of August 24, 2021
Sheets: C1, S2, S3, S4, E5A, E5B, E5E, E6, E7, D8, D9, D10, EC11, LC12, WPD13, MOD15

Report: Drainage Report, Definitive Subdivision King Meadow Farm Katie Lane
Prepared for: King Meadow Development, LLC c/o Kevin Cunniff
Prepared by: WGH Land Survey & Design
Date: September 18, 2021

Report: Operations and Maintenance Plan, King Meadow Farm Katie Lane
Prepared for: King Meadow Development, LLC c/o Kevin Cunniff
Prepared by: WGH Land Survey & Design
Date: December 2020 and Revised to August 2021

The Planning Board APPROVES the application for a Definitive Subdivision and Stormwater Management and Land Disturbance Permit.

PLANNING BOARD



Brad Ligols, Chair

Walter Sorenson, Jr.



Jim Bofages



Robert Danforth

John Stokes, III

cc:
Town Departments
Applicant
Abutters

January 11, 2021

Town of Groveland
Zoning Board of Appeals
183 Main Street
Groveland, MA 01834

Town of Groveland
Planning Board
183 Main Street
Groveland, MA 01834

Town of Groveland
Conservation Commission
Conservation Office/Town Hall
183 Main Street
Groveland, MA 01834

RE: Application for 106 King Street, Groveland, MA 01834

Dear Members of the Board,

Please be advised that the undersigned King Meadow Development, LLC, Kevin Cunniff, Manager does hereby authorize Attorneys Douglas C. Deschenes and/or related associates of the law firm of Deschenes & Farrell, P.C., 515 Groton Road, Ste. 204, Westford, MA 01886 to act (including but not limited to signing, filing and permitting) in regards to any filing, permit application, or other documents relating to proposed reconstruction and/or alteration of my property located at 106 King Street, Groveland, MA 01834.

Thank you for your time and attention to this matter.

Sincerely,


Kevin Cunniff, Manager
King Meadow Development, LLC

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SO. ESSEX #633 Bk:37478 Pg:210
04/30/2019 03:11 DEED Pg 1/3

MASSACHUSETTS EXCISE TAX
Southern Essex District ROD
Date: 04/30/2019 03:11 PM
ID: 1291257 Doc# 20190430006330
Fee: \$2,500.00
Cons: \$550,000.00

QUITCLAIM DEED

Property Address: 106 King Street, Groveland, Massachusetts

Despina Adamopoulos, of 85 Storey Avenue, #334, Newburyport, Massachusetts 01950

for and in full consideration of the sum of Five Hundred Fifty Thousand and no/100 (\$550,000.00) dollars

hercby grant to King Meadow Development, LLC, a Massachusetts limited liability company, having a usual mailing address of 211 Seven Star Road, Groveland, MA

WITH QUITCLAIM COVENANTS

The land with the buildings thereon known as 106 King Street, Groveland, Essex County, Massachusetts, and shown as Parcel 26-13 on Town of Groveland Assessor's Map 26. Containing 18.7 acres of land, more or less, bounded and described as follows:

Beginning at the Westerly corner thereof by land formerly of the grantors, now of Chaplick, and thence running NORTHEASTERLY by said Chaplick land 402.44 feet to the end of the wall; thence NORTHEASTERLY as the wall stands about 457.8 feet to the corner of the wall; thence SOUTHEASTERLY as the wall stands to a corner of the wall; thence NORTHEASTERLY as the wall stands to the corner of the old wall; thence SOUTHEASTERLY to a stake in the middle of the ditch; thence NORTHEASTERLY by said ditch to a stake in the middle of said ditch about 10 rods from land formerly of Snell; thence Southeasterly to Center Street, all the aforesaid courses being by land now or formerly of Hanks; thence SOUTHWESTERLY by Center Street to land now or formerly of Fuller; thence NORTHWESTERLY 129 feet and SOUTHWESTERLY 161 feet, both by said Fuller land to King Street; thence NORTHWESTERLY by King Street about 255 feet to land now or formerly of Fuller; thence NORTHEASTERLY about 390 feet by said Fuller land to a corner; thence NORTHWESTERLY by the wall by said Fuller land 495 feet to the NORTHERLY corner of said Fuller land; thence continuing NORTHWESTERLY in an extension of the last course 125 feet by land formerly of the grantors, now of Watts to the NORTHERLY corner of said Watts land; thence SOUTHWESTERLY by said Watts land 173.50 feet to land formerly of the grantors, now of Adolphe O. Roy thence NORTHWESTERLY by said Adolphe O. Roy land 125 feet; thence SOUTHWESTERLY by the last-named land 200 feet to said King Street; thence NORTHWESTERLY by said King Street 268.73 feet to the point begun at.

Said description shall not include the lots conveyed out as shown as Lots 1-5 on a plan recorded with Said Deeds in Plan Book 283, Plan 24.

For Grantors' title see deed from Arthur A. Adamopoulos dated December 6, 1972 recorded with the Essex County Southern District Registry of Deeds in Book 5931, Page 605. See also death certificate for Arthur A. Adamopoulos recorded with said Registry of Deeds in Book 24133, Page 44. EXCEPTING THEREFROM the land set forth in the following Deeds:

- a. Deed from Arthur A. Adamopoulos and Despina Adamopoulos to Lance D. Blais and Patricia A. Blais dated August 2, 1983 and recorded with said Registry of Deeds in Book 7182, Page 231.
- b. Deed from Arthur A. Adamopoulos and Despina Adamopoulos to Arthur A. Adamopoulos, Despina Adamopoulos, Charles Adamopoulos and Beth Adamopoulos dated August 14, 1991 and recorded with said Registry of Deeds in Book 10909, Page 175.
- c. Deed from Arthur A. Adamopoulos and Despina Adamopoulos to Mount Vernon Development Corporation dated May 17, 1993 and recorded with said Registry of Deeds in Book 11958, Page 242.
- d. Deed from Arthur A. Adamopoulos and Despina Adamopoulos to Mark D. Sheehan and Barbara B. Sheehan dated November 30, 1994 and recorded with said Registry of Deeds in Book 12839, Page 379.

The Grantor hereby releases all rights of homestead and any other rights herein and certifies under penalty of perjury that she knows of no other person entitled to an estate of homestead in the premises.

[the remainder of this page is intentionally left blank]

Witness my hand and seal this 26th day of April, 2019.

Despina Adamopoulos
Despina Adamopoulos

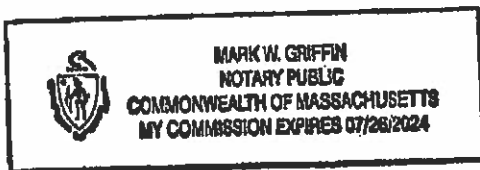
COMMONWEALTH OF MASSACHUSETTS

County of Essex

On this 26 day of April, 2019, before me, the undersigned notary public, personally appeared Despina Adamopoulos, proved to me through satisfactory evidence of identification, which was MA ID Card, to be the person who signed the preceding or attached document in my presence, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of her knowledge and belief



Notary Public:
My Commission Expires:



Unofficial Property Record Card - Groveland, MA

General Property Data

Parcel ID 26-013-0	Account Number
Prior Parcel ID 1960 --	Property Location 106 KING ST
Property Owner KING MEADOW DEVELOPMENT LLC	Property Use ONE FAM
Mailing Address 211 SEVEN STAR RD	Most Recent Sale Date 4/30/2019
City GROVELAND	Legal Reference 37478-210
Mailing State MA Zip 01834	Grantor ADAMOPOULOS ARTHUR A.
Parcel Zoning RB	Sale Price 550,000
	Land Area 18.700 acres

Current Property Assessment

Card 1 Value	Building Value 189,400	Xtra Features Value 0	Land Value 209,900	Total Value 399,300
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Building Description

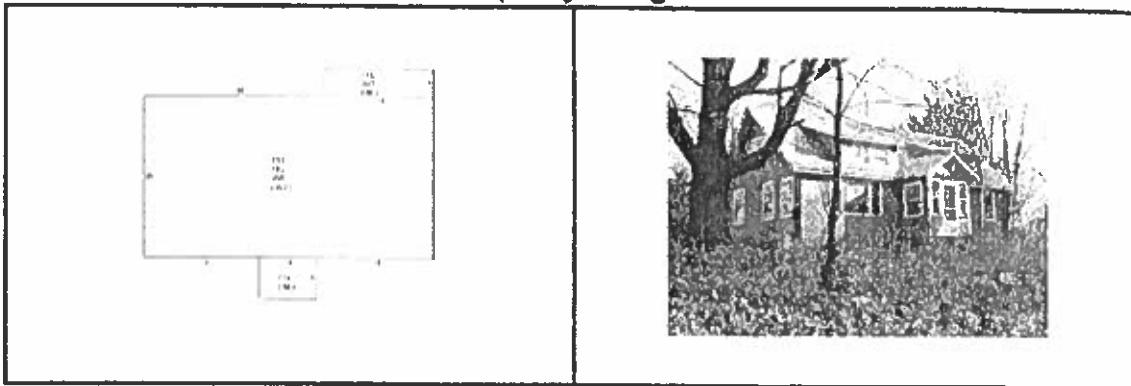
Building Style OLD STYLE # of Living Units 1 Year Built 1917 Building Grade AVERAGE Building Condition Average Finished Area (SF) 1718 Number Rooms 5 # of 3/4 Baths 0	Foundation Type BRICK/STN Frame Type WOOD Roof Structure GABLE Roof Cover ASPHALT SH Siding WOOD SHING Interior Walls DRYWALL # of Bedrooms 2 # of 1/2 Baths 0	Flooring Type CARPET Basement Floor CONCRETE Heating Type FORCED HWY Heating Fuel OIL Air Conditioning 0% # of Bsmt Garages 0 # of Full Baths 1 # of Other Fixtures 0
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Legal Description

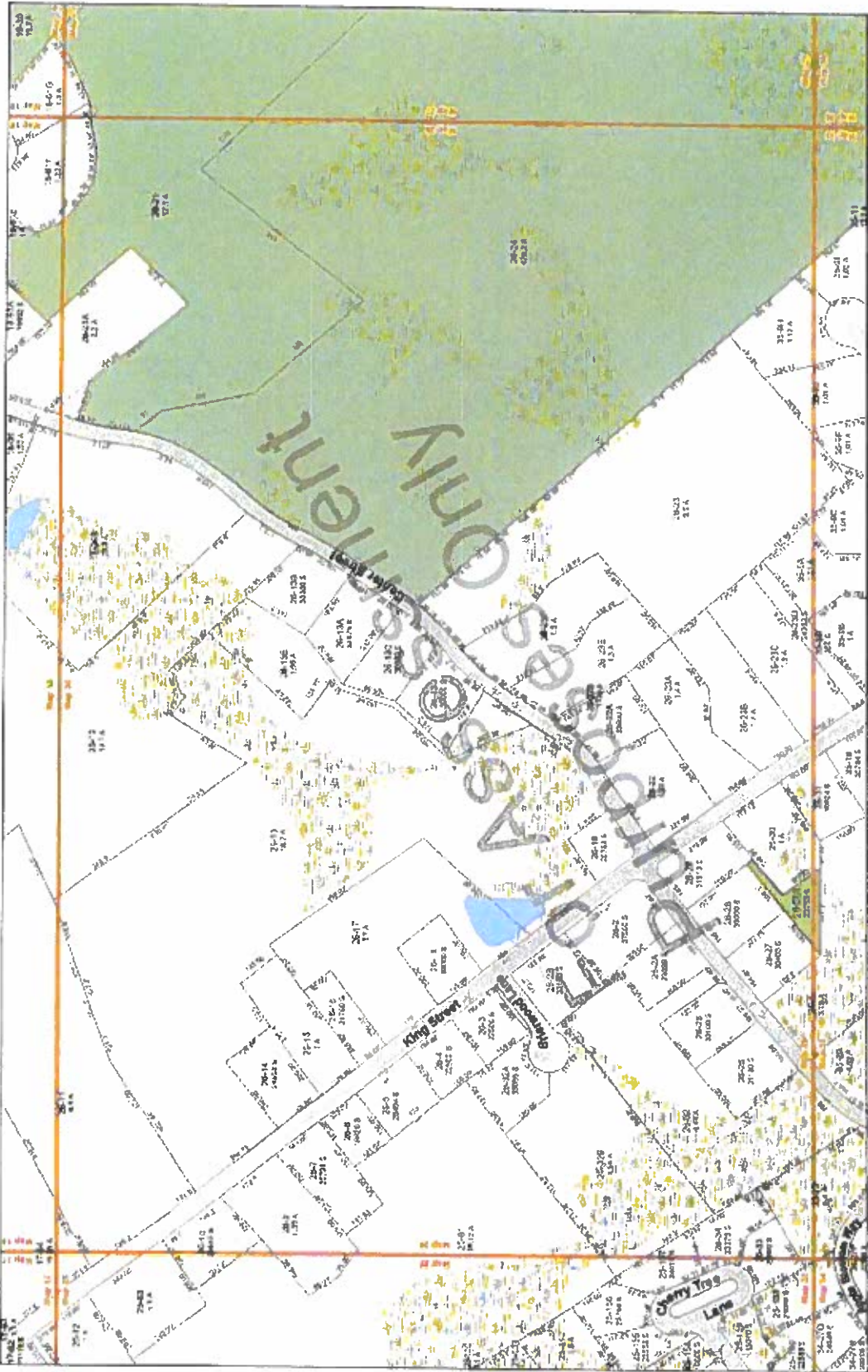
Narrative Description of Property

This property contains 18.700 acres of land mainly classified as ONE FAM with a(n) OLD STYLE style building, built about 1917, having WOOD SHING exterior and ASPHALT SH roof cover, with 1 unit(s), 5 room(s), 2 bedroom(s), 1 bath(s), 0 half bath(s).

Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.



Town of Groveland
 Property Parcel Map
 Map 26
 FY 2018
 Current as of 1/1/2017




Legend

- Property Boundary
- Easement
- Electric-Owned Land
- Municipal Yard
- Abandoned lots or Ponds
- Stream
- Road



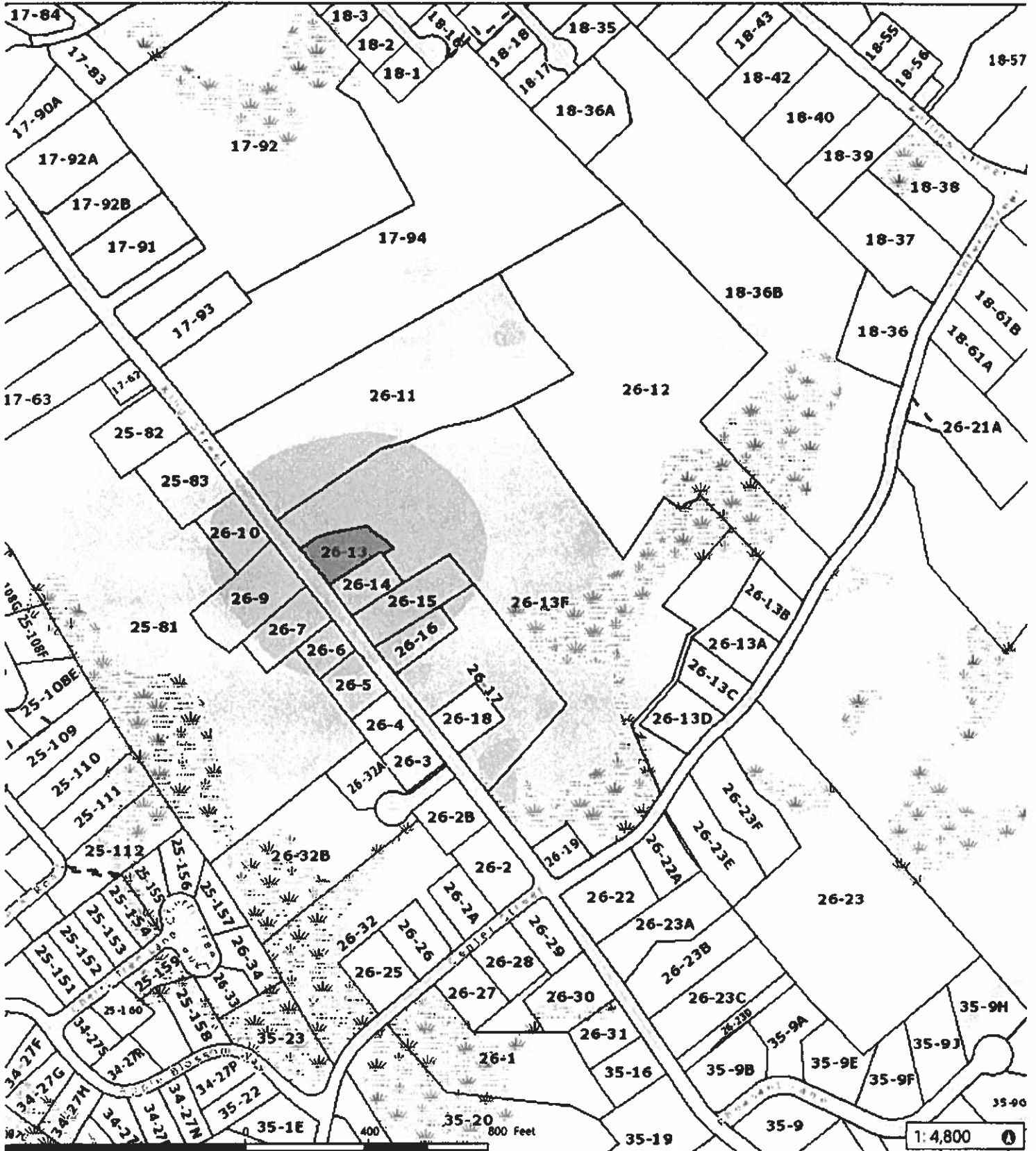

Map 26

AN INFORMATION SYSTEMS SOLUTIONS, INC. HAS

100 King St 300 11 1/4/21

Town of Groveland

01/04/2021



1:4,800

Map Sources: Produced by Merrimack Valley Planning Commission (MVPC) using data provided by the Town of Groveland & MassGIS.
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Legend	
MVPC Boundary	Interstate
Easements	Stream
Parcels	Major Road
Road Right of Way	Wetlands
Hydrographic Features	Local Road

25-081-0
BOWDEN RICHARD P
BOWDEN JEANNE N
97R KING ST
GROVELAND, MA 01834

25-083-0
MURRAY JASON
MURRAY SHAUNA
99 KING ST
GROVELAND, MA 01834

26-005-0
FIELDS J CRAIG
DONELAN-FIELDS MARY
113 KING ST
GROVELAND, MA 01834

26-006-0
CARLSON JONATHAN
CARLSON LORELLE
111 KING ST
GROVELAND, MA 01834

26-007-0
SCHAEFER TRS ANN M
SCHAEFER TRS THOMAS A
109 KING ST
GROVELAND, MA 01834

26-009-0
GALVIN TIMOTHY J
GALVIN ROBIN L
103 KING ST
GROVELAND, MA 01834

26-010-0
MILLER ROBERT C
MILLER JOYCE A
101 KING ST
GROVELAND, MA 01834

26-011-0
WRIGHT ROBYN
102 KING ST
GROVELAND, MA 01834

26-013-0
KING MEADOW DEVELOPMENT LLC
211 SEVEN STAR RD
GROVELAND, MA 01834

26-013-F
KING MEADOW DEVELOPMENT LLC
211 SEVEN STAR RD
GROVELAND, MA 01834

26-014-0
TURPIN PETER
TURPIN COURTNEY
112 KING ST
GROVELAND, MA 01834

26-015-0
MARQUIS TIMOTHY
MARQUIS ARIANNA
114 KING ST
GROVELAND, MA 01834

26-016-0
BEAUPRE CHARLES E III
PERRAULT CHRISTINE A
116 KING ST
GROVELAND, MA 01834

26-017-0
KINCH PAUL C
KINCH DENISE A
118 KING ST
GROVELAND, MA 01834

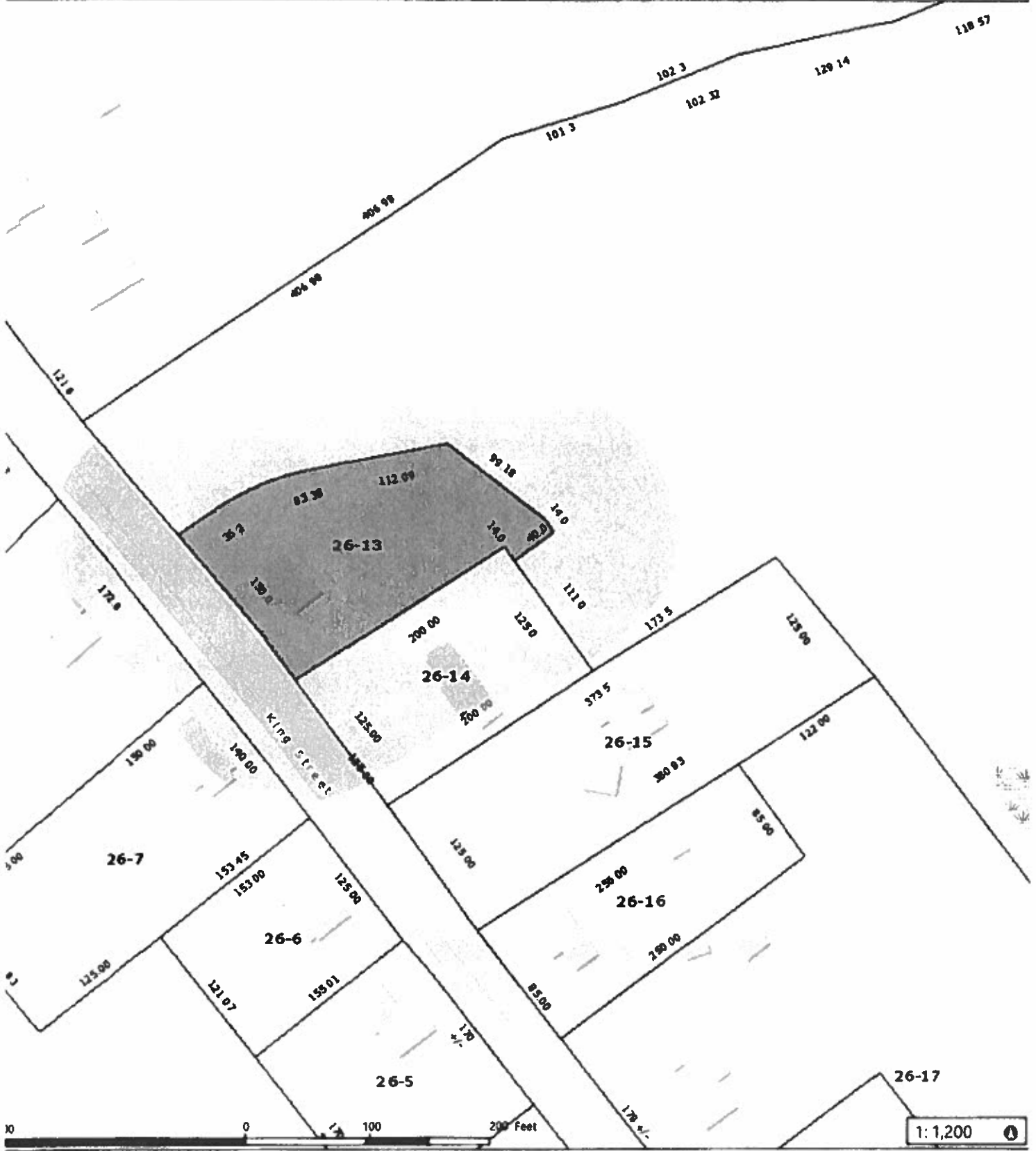
CERTIFIED
Board of Assessors
Groveland, MA



106 King St 100 ft 11/9/21

Town of Groveland

01/04/2021



1:1,200

Data Sources: Provided by Merrimack Valley Planning Commission (MVPC) using data provided by the Town of Groveland & MassGIS/MAASISGIS.

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Legend	
MVPC Boundary	Roads
Local Road	Hydrographic Features
Parcels	Interstates
Easements	Streams
Building Footprint	Major Road
Road Right of Way	Wetlands

26-007-0
SCHAEFER TRS ANN M
SCHAEFER TRS THOMAS A
109 KING ST
GROVELAND, MA 01834

26-008-0
GALVIN TIMOTHY J
GALVIN ROBIN L
103 KING ST
GROVELAND, MA 01834

26-010-0
MILLER ROBERT C
MILLER JOYCE A
101 KING ST
GROVELAND, MA 01834

26-013-0
KING MEADOW DEVELOPMENT LLC
211 SEVEN STAR RD
GROVELAND, MA 01834

26-013-F
KING MEADOW DEVELOPMENT LLC
211 SEVEN STAR RD
GROVELAND, MA 01834

26-014-0
TURPIN PETER
TURPIN COURTNEY
112 KING ST
GROVELAND, MA 01834

CERTIFIED
Board of Assessors
Groveland, MA

A handwritten signature in black ink, appearing to be "J. J. [unclear]", written over the printed text of the certification stamp.